SITE PLANS and PROFILES of

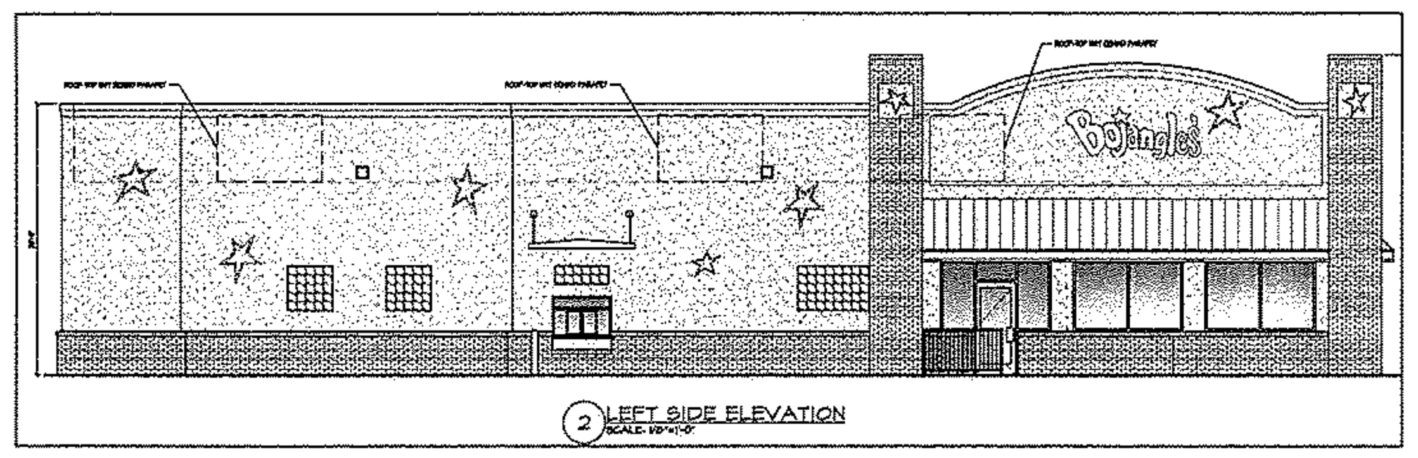
COLLEGE ROAD SITE

FOR

Bojangles'

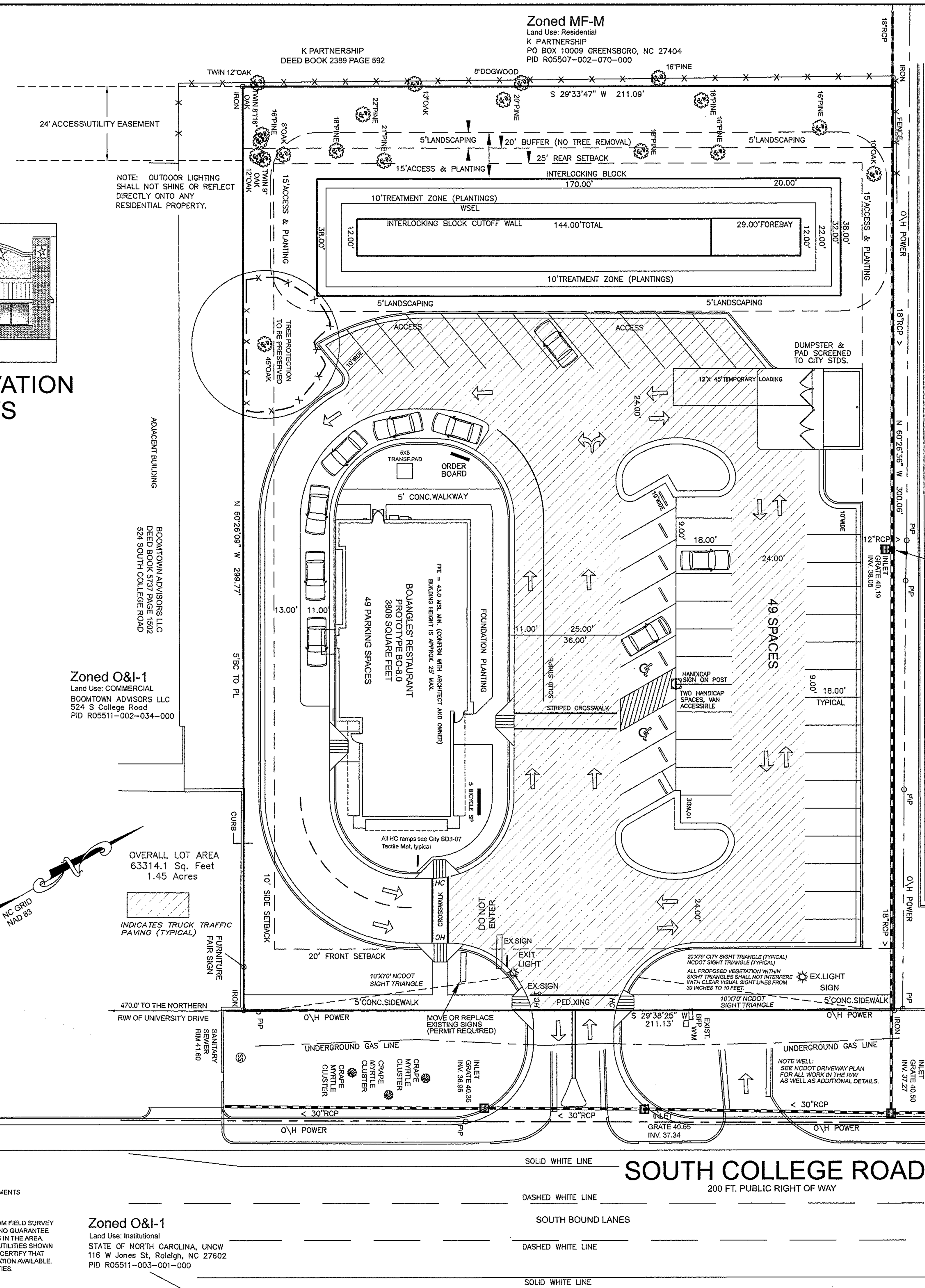
CITY OF WILMINGTON, NEW HANOVER CO.
NORTH CAROLINA

DATE: MARCH 2015



ELEVATION VIEWS

Views - NTS

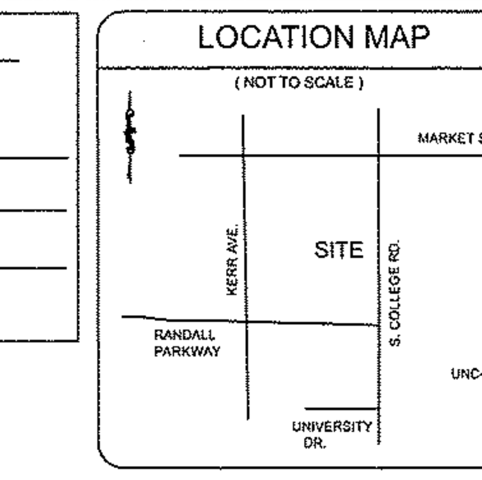


For each open utility cut of City streets, a $325 permit shall be required from the City prior to occupancy and/or project acceptance.

STORMWATER MANAGEMENT PLAN APPROVED
CITY OF WILMINGTON ENGINEERING DEPARTMENT
DATE ________
PERMIT # ________
SIGNED ________

Approved Construction Plan	Name	Date
Planning		
Traffic		
Fire		

LOCATION MAP



CITY STANDARD NOTES:

1. PRIOR TO ANY CLEARING, GRADING OR CONSTRUCTION ACTIVITY, TREE PROTECTION FENCING WILL BE INSTALLED AROUND PROTECTED TREES OR GROVES OF TREES AND NO CONSTRUCTION WORKERS, TOOLS, MATERIALS, OR VEHICLES ARE PERMITTED WITHIN THE TREE PROTECTION FENCING.
2. ANY TREES AND / OR AREAS DESIGNATED TO BE PROTECTED MUST BE PROPERLY BARRICADED WITH FENCING AND PROTECTED THROUGHOUT CONSTRUCTION TO INSURE THAT NO CLEARING, GRADING OR STAGING OF MATERIALS WILL OCCUR IN THOSE AREAS.
3. NO EQUIPMENT IS ALLOWED ON SITE UNTIL ALL TREE PROTECTION FENCING AND SILT FENCING IS INSTALLED AND APPROVED. PROTECTIVE FENCING IS TO BE MAINTAINED THROUGHOUT THE DURATION OF THE PROJECT, AND CONTRACTORS SHALL RECEIVE ADEQUATE INSTRUCTION ON TREE PROTECTION METHODS.
4. ALL PAVEMENT MARKINGS IN PUBLIC RIGHTS-OF-WAY AND FOR DRIVEWAYS ARE TO BE THERMOPLASTIC AND MEET CITY AND/OR NCDOT STANDARDS.
5. ONCE STREETS ARE OPEN TO TRAFFIC, CONTACT TRAFFIC ENGINEERING TO REQUEST INSTALLATION OF TRAFFIC AND STREET NAME SIGNS. PROPOSED STREET NAMES MUST BE APPROVED PRIOR TO INSTALLATION OF STREET NAME SIGNS.
6. TRAFFIC CONTROL DEVICES (INCLUDING SIGNS AND PAVEMENT MARKINGS) IN AREAS OPEN TO PUBLIC TRAFFIC ARE TO MEET MUTCD (MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES) STANDARDS.
7. CONTACT TRAFFIC ENGINEERING AT 341-7888 TO ENSURE THAT ALL TRAFFIC SIGNAL FACILITIES AND EQUIPMENT ARE SHOWN ON THE PLAN.
8. CALL TRAFFIC ENGINEERING AT 341-7888 FORTY-EIGHT HOURS PRIOR TO ANY EXCAVATION IN THE RIGHT-OF-WAY.
9. TRAFFIC ENGINEERING MUST APPROVE OF PAVEMENT MARKING PRIOR TO ACTUAL STRIPING.
10. ALL PARKING STALL MARKINGS AND LANE ARROWS WITHIN THE PARKING AREAS SHALL BE WHITE.
11. ALL TRAFFIC CONTROL SIGNS AND MARKINGS OFF THE RIGHT-OF-WAY ARE TO BE MAINTAINED BY THE OWNER IN ACCORDANCE WITH MUTCD STANDARDS.
12. STOP SIGNS AND STREET SIGNS TO REMAIN IN PLACE DURING CONSTRUCTION.
13. TACTILE WARNING MATS WILL BE INSTALLED ON ALL WHEELCHAIR RAMPS.
14. A UTILITY CUT PERMIT IS REQUIRED FOR EACH OPEN CUT OF A CITY STREET. IN CERTAIN CASES ENTIRE RESURFACING OF THE OPEN CUT AREA MAY BE REQUIRED.
15. ANY BROKEN OR MISSING SIDEWALK OR DRIVEWAY PANELS OR CURBING WILL BE REPLACED.
16. CONTACT THE CITY AT 341-7888 TO DISCUSS STREET LIGHTING OPTIONS.
17. WATER AND SEWER SERVICE SHALL MEET CAPE FEAR PUBLIC UTILITY AUTHORITY (CFPUA) DETAILS AND SPECIFICATIONS.
18. PROJECT SHALL COMPLY WITH CAPE FEAR PUBLIC UTILITY AUTHORITY CROSS CONNECTION CONTROL REQUIREMENTS. WATER METERS CANNOT BE RELEASED UNTIL ALL REQUIREMENTS ARE MET AND THE STATE HAS GIVEN THEIR FINAL APPROVAL. CALL 343-3910 FOR INFORMATION.
19. IF THE CONTRACTOR DESIRES CFPUA WATER FOR CONSTRUCTION HE SHALL APPLY IN ADVANCE FOR THIS SERVICE AND MUST PROVIDE A REDUCED PRESSURE ZONE (RPZ) BACKFLOW PREVENTION DEVICE ON THE DEVELOPER'S SIDE OF THE WATER METER BOX.
20. ANY IRRIGATION SYSTEM SUPPLIED BY CFPUA WATER SHALL COMPLY WITH CFPUA CROSS CONNECTION CONTROL REGULATIONS. CALL 343-3910 FOR INFORMATION.
21. ANY IRRIGATION SYSTEM SHALL BE EQUIPPED WITH A RAIN AND FREEZER SENSOR.
22. ANY BACKFLOW PREVENTION DEVICES REQUIRED BY CFPUA WILL NEED.TO BE ON THE LIST OF APPROVED DEVICES BY USCFCCCHR OR ASSE.
23. CONTRACTOR TO FIELD VERIFY EXISTING WATER AND SEWER SERVICE LOCATIONS, SIZES AND MATERIALS PRIOR TO CONSTRUCTION. ENGINEER TO BE NOTIFIED OF ANY CONFLICTS.
24. CONTRACTOR SHALL MAINTAIN ALL-WEATHER ACCESS FOR EMERGENCY VEHICLES AT ALL TIMES DURING CONSTRUCTION.
25. UNDERGROUND FIRE LINES MUST BE PERMITTED AND INSPECTED BY THE WILMINGTON FIRE DEPARTMENT FROM THE PUBLIC RIGHT-OF-WAY TO THE BUILDING. CONTACT THE WILMINGTON FIRE DEPARTMENT DIVISION OF FIRE AND LIFE SAFETY AT 910-341-0696.
26. NO OBSTRUCTIONS ARE PERMITTED IN THE SPACE BETWEEN THIRTY (30) INCHES AND TEN (10) FEET ABOVE THE GROUND WITHIN THE TRIANGULAR SIGHT DISTANCE.
27. CONTACT THE NORTH CAROLINA ONE CALL CENTER AT 1-800-632-4949 PRIOR TO ANY DIGGING, CLEARING OR GRADING.
28. ANY PVC MAINS ARE TO BE MARKED WITH NO.10 INSULATED COPPER WIRE INSTALLED THE ENTIRE LENGTH AND STAPPED TO THE PIPE WITH DUCT TAPE, AND STRIPPED TO BARE WIRE AND SECURED TO ALL VALVES AND FITTINGS, ACCESSIBLE IN ALL VALVE AND METER BOXES. ALL WATER MAINS ARE TO HAVE A MINIMUM OF 3' COVER.

PROPOSED SEWER & WATER USAGE SAME AS EXISTING

ADDITIONAL FIRE DEPARTMENT NOTES:
- HYDRANTS MUST BE WITHIN 150' OF THE FDC
- THE FDC MUST BE WITHIN 40' OF FIRE APPARATUS PLACEMENT
- LANDSCAPING MAY NOT BLOCK ANY FDC OR HYDRANT WITH A 3' CLEAR SPACE MAINTAINED
- CONTRACTOR TO MAINTAIN ALL WEATHER ACCESS FOR EMERGENCY VEHICLES DURING CONSTRUCTION
- HYDRANTS MUST BE LOCATED WITHIN 8' OF THE CURB
- NEW HYDRANTS MUST BE AVAILABLE FOR USE PRIOR TO BUILDING CONSTRUCTION

GENERAL NOTES:

1. This map is not for conveyance, recordation, or sales.
2. This property is located within a special flood hazard area X according to Flood Insurance Rate Map Community Panel #37203137J, effective date April 3, 2006.
3. Area = 1.45 acres
4. Building layout and dimensions by others.
5. This property is zoned City of Wilmington O&I-1. Building setbacks are as follows:
   20' from College Road Right-of-Way
   10' from Interior Side
   25' from Rear (residential)
6. Handicap Ramps provided at all intersections and one per building.
7. 15 suitable trees per acre are to be preserved or planted in accordance with City of Wilmington standards.
8. Parking areas and streets to be lighted in accordance with City of Wilmington standards.
9. Refuse collection by dumpster and private hauler.
10. 49 total parking spaces provided this Project
11. NO CONSTRUCTION IS TO BEGIN BEFORE LOCATION OF EXISTING UTILITIES HAS BEEN DETERMINED. CALL "NC ONE-CALL" AT LEAST 48 HOURS BEFORE COMMENCING CONSTRUCTION. 1-800-632-4949
12. Affected Non-Municipal Utilities shall be contacted and provided with plans and other pertinent information, when feasible, to coordinate scheduling and placement. At the minimum this should include AT&T and Duke (Progress) Energy.
13. Project shall comply with CFPUA Cross Connection Control requirements. Water meter(s) cannot be released until all requirements are met.
14. If the contractor desires CFPUA water for construction he shall apply in advance for this service and must provide a reduced pressure zone (RPZ) backflow prevention device on the developer's side of the water meter box.
15. Any irrigation system supplied by CFPUA water shall comply with CFPUA Connection Control regulations.
16. Reflectors shall be installed as per City and NCDOT standards.

ADDITIONAL NOTES:

1. AS PART OF SITE IMPROVEMENTS FOR A SUBDIVISION OR SITE PLAN, ANY BROKEN OR MISSING SIDEWALK PANELS, DRIVEWAY PANELS, AND/OR CURBING ADJACENT TO THE PROJECT AREA SHALL BE REPLACED BY THE DEVELOPER. THIS SHALL BE REQUIRED WHETHER THE DAMAGE EXISTED PRIOR TO THE START OF CONSTRUCTION OR MAY HAVE BEEN CAUSED DURING CONSTRUCTION.
2. PER THE REQUIREMENTS OF THE STORMWATER PERMIT, THE FOLLOWING SHALL OCCUR PRIOR TO ISSUANCE OF A CERTIFICATE OF OCCUPANCY OR OPERATION OF THE PERMITTED FACILITY.
   * AS-BUILT DRAWINGS FOR ALL STORMWATER MANAGEMENT FACILITIES SHALL BE SUBMITTED TO THE CITY OF WILMINGTON ENGINEERING DIVISION.
   * AN ENGINEER'S CERTIFICATION SHALL ALSO BE SUBMITTED, ALONG WITH ALL SUPPORTING DOCUMENTATION THAT SPECIFIES, UNDER SEAL THAT THE AS-BUILT STORMWATER MEASURES, CONTROLS AND DEVICES ARE IN COMPLIANCE WITH THE APPROVED STORMWATER MANAGEMENT PLANS.
   * A FINAL INSPECTION BY CITY OF WILMINGTON ENGINEERING PERSONNEL.
3. ALL REQUIRED EASEMENT MAPS SHALL BE REVIEWED BY CITY STAFF AND RECORDED PRIOR TO ISSUANCE OF A CERTIFICATE OF OCCUPANCY.

OTHER NOTES:

1. THIS PLAT IS PRELIMINARY, NOT INTENDED FOR RECORDATION, SALES, OR CONVEYANCE.
2. SURVEYED IN 2013, and 2014.
3. ALL DISTANCES AS SHOWN ARE HORIZONTAL.
4. SEWER PROVIDED BY CFPUA
5. WATER PROVIDED BY CFPUA
   ANTICIPATED UTILITIES USE IS UNCHANGED.
6. SITE WILL MEET ALL ZONING REQUIREMENTS.
7. AREA COMPUTED BY COORDINATE METHOD.
8. REGULATED TREES ON SITE TO BE PRESERVED AS SHOWN.
9. STRIPING AND LANES TO CITY STANDARDS (THERMOPLASTIC).
10. NO VEHICULAR ACCESS TO SITE EXCEPT AS SHOWN.
11. ALL UTILITIES UNDERGROUND.
12. COMBINED GRID FACTOR = 1.00000.
13. FOR REFERENCE SEE :
    DB 1991 PG 087
14. ONE SIGNIFICANT TREE ON SITE TO BE PRESERVED.
15. REGULATED TREES TO BE REMOVED ARE FOR ESSENTIAL SITE IMPROVEMENTS. NO REGULATED TREES ARE LOCATED IN EXCESS PARKING AREAS.
16. LANDSCAPING PLAN BY OTHERS.
17. CONTRACTOR TO COORDINATE STAGING OF CONSTRUCTION ACTIVITIES WITH THE OWNER AND ACHITECT TO FACILITATE ONGOING ADJOINING BUSINESS ACTIVITIES.
18. CONTRACTOR TO COORDINATE REMOVAL AND RELOCATION OF LIGHTING AND OTHER NON-MUNICIPAL UTILITIES SUCH AS ELECTRICAL AND TELEPHONE CONNECTIONS WITH THE AFFECTED AGENCIES AND THE OWNER AND ARCHITECT.
19. CONTRACTOR TO COORDINATE CONSTRUCTION OF PARKING LOT, ISLANDS, AND EXTERIOR FENCING AND SCREENING WITH THE OWNER AND ARCHITECT.
    NCDOT PERMIT REQUIRED FOR ANY WORK IN COLLEGE ROAD R/W.
20. ALL SERVICES TO BE INSTALLED IN ACCORDANCE WITH CITY and CFPUA TECHNICAL STANDARDS.

STANDARD NOTES:

1. Information concerning underground utilities was obtained from available records. It shall be the responsibility of the Contractor to determine the exact elevations and locations of all existing utilities at all crossings prior to commencing trench excavation. If actual clearances are less than indicated on Plan, the Contractor shall contact the Design Engineer before proceeding with construction. Any condition discovered or existing that would necessitate a modification of these plans shall be brought to the attention of the Design Engineer before proceeding with construction.
2. NO CONSTRUCTION IS TO BEGIN BEFORE LOCATION OF EXISTING UTILITIES HAS BEEN DETERMINED. CALL "NC ONE-CALL" AT LEAST 48 HOURS BEFORE COMMENCING CONSTRUCTION.
3. All trees which are not required to be cleared for constuction shall be preserved wherever possible unless otherwise directed.
4. Contractor shall adjust all manholes, valve and curb boxes to the final grade upon completion of all construction. Any boxes damaged or otherwise disturbed by the Contractor shall be repaired at the expense of the Contractor.
5. The Contractor is responsible for controlling dust and erosion during construction at his expense. Roads shall be watered to control dust when ordered by the Engineer.
6. No geotechnical testing has been performed on site. No warranty is made for suitability of subgrade, and undercut and any required replacement with suitable material shall be the responsibility of the contractor.
7. Extreme care shall be taken to ensure minimum separations at all utility crossings.
8. Contractor to ensure that pavement is placed so as to drain positively to the curb outlets and catch basins. All roof drain downspouts to be directed to the storm sewer system.
9. Contractor is responsible for obtaining all required permits.
10. This plan is for site grading, roadwork, drainage, land disturbing activities and erosion control only.
11. No encumberances in R/W except as shown.
12. Affected Non-Municipal Utilities shall be contacted and provided with plans and other pertinent information, when feasible, to coordinate appropriate scheduling and placement. At the minimum this should include AT&T and Duke (Progress) Energy.

Zoned O&I-1
Land Use: Church
CHURCH of JESUS CHRIST of WILMINGTON
514 S College Road
PID R05507-002-071-000

BENCHMARK LOCATIONS AND ELEVATIONS		
	LOCATION:	ELEVATION
1	MAGNETIC NAIL AT SOUTHERNMOST CORNER EXISTING DUMPSTER ENCLOSURE	40.49

INDEX TO SET DRAWINGS

LEGEND

W\V = WATER VALVE
W\M = WATER METER
C\O = SANITARY SEWER CLEAN OUT
INV. = INVERT
BFP = BACK FLOW PREVENTOR
G\W = GUY WIRE
SWMH = STORM MANHOLE
GT. = GREASE TRAP
F\H = FIRE HYDRANT
I.S. = IRON SET
= SANITARY SEWER MANHOLE
= CURB INLET
= TREE
= STREET LIGHT
= WATER SERVICE
= SEWER CLEANOUT
= WATER VALVE

PROPERTY LINE
BUILDING SETBACK
CENTERLINE
EASEMENT
COMPUTED PROPERTY LINE

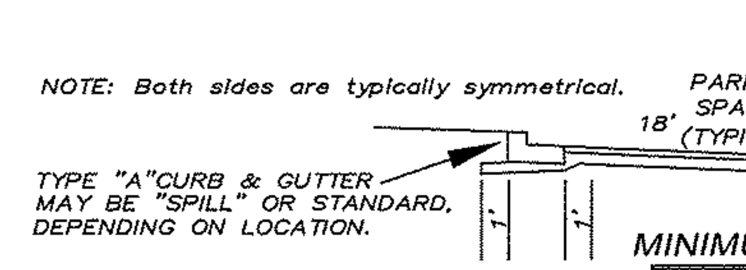
SURVEY NOTES:

1. AREA COMPUTED BY COORDINATE METHOD
2. ALL DISTANCES ARE HORIZONTAL GROUND
3. THIS SURVEY IS NOT FOR RECORDATION, IT DOES NOT MEET ALL REQUIREMENTS OF G.S. 47-30.
4. PROPERTY SUBJECT TO ALL EASEMENTS OF RECORD
5. THE UNDERGROUND UTILITIES SHOWN ON THIS SURVEY ARE LOCATED FROM FIELD SURVEY INFORMATION, AND EXISTING ASBUILT DRAWINGS. THE SURVEYOR MAKES NO GUARANTEE THAT THE UNDERGROUND UTILITIES SHOWN COMPRISE ALL SUCH UTILITIES IN THE AREA. THE SURVEYOR FURTHER DOES NOT WARRANT THAT THE UNDERGROUND UTILITIES SHOWN ARE IN THE EXACT LOCATION INDICATED ALTHOUGH THE SURVEYOR DOES CERTIFY THAT THE UTILITIES ARE LOCATED AS ACCURATELY AS POSSIBLE FORM INFORMATION AVAILABLE. THE SURVEYOR HAS NOT PHYSICALLY LOCATED THE UNDERGROUND UTILITIES.
7. FOR REFERENCE SEE AS NOTED
8. THIS TRACT IS NOT LOCATED IN A SPECIAL FLOOD HAZARD AREA

FINAL DESIGN
NOT RELEASED FOR CONSTRUCTION

20 10 0 20
SCALE IN FEET: 1"= 20'

NOTE: Both sides are typically symmetrical.



1-1/2"ASPHALT (S9.5A) SURFACE COURSE
2"ASPHALT (S9.5A) TRUCK TRAFFIC
8"ABC BASE COURSE MINIMUM (TRUCK TRAFFIC)
SEE PLAN VIEW ABOVE
1-1/2"ASPHALT (S9.5A) SURFACE COURSE
2"ASPHALT (S9.5A) NORMAL TRAFFIC
6"ABC BASE COURSE MINIMUM (NORMAL TRAFFIC)
THICKER SECTION MAY BE NECESSARY ON GEOTECH RECOMMENDATION.

MINIMUM PARKING BAY SECTION
NOT TO SCALE

INDICATES TRUCK TRAFFIC PAVING (TYPICAL)

F: ALL\PROJECT FOLDERS\BOJANGLES\12354\12354 SHT1

ZONED: O&I-1
ADDRESS: 520 S College Road
DEVELOPER: Bojangles Restaurants, Inc.
9432 Southern Pines Blvd.
Charlotte, NC 27273
704-940-8669
PARCEL ID: RO5507-002-069-000
OWNER: Cajun Properties Inc.
9432 Southern Pines Blvd.
Charlotte, NC 28273
704-940-8669

REV. NO.	REVISIONS	DATE
1	MAJOR REVISION TO DRIVEWAY & DOT R/W	8-07-15

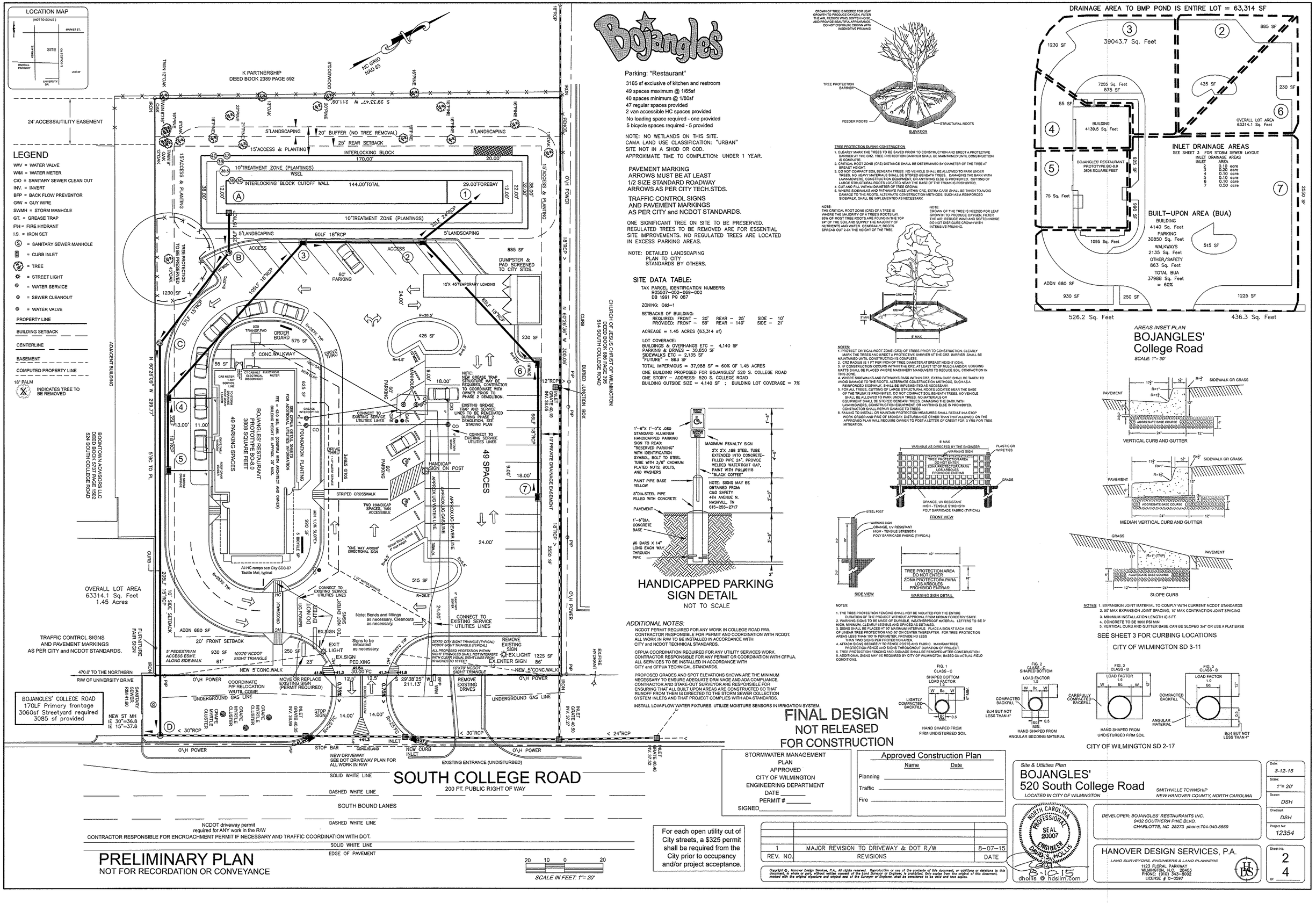
Site Plan Cover Sheet and General Notes
BOJANGLES'
520 South College Road
LOCATED IN CITY OF WILMINGTON
SMITHVILLE TOWNSHIP
NEW HANOVER COUNTY, NORTH CAROLINA

NORTH CAROLINA PROFESSIONAL SEAL 20007 ENGINEER DAVID S. HOLLIS
8-10-15
dhollis @ hdsilm.com

DEVELOPER: BOJANGLES' RESTAURANTS INC.
9432 SOUTHERN PINE BLVD.
CHARLOTTE, NC 28273 phone:704-940-8669

HANOVER DESIGN SERVICES, P.A.
LAND SURVEYORS, ENGINEERS & LAND PLANNERS
1123 FLORAL PARKWAY
WILMINGTON, N.C. 28403
PHONE: (910) 343-8002
LICENSE # C-0597

Date: 3-12-15
Scale: 1"= 20'
Drawn: DSH
Checked: DSH
Project No: 12354



Bojangles'

Parking: "Restaurant"

3185 sf exclusive of kitchen and restroom
49 spaces maximum @ 1/65sf
40 spaces minimum @ 1/80sf
47 regular spaces provided
2 van accessible HC spaces provided
No loading space required - one provided
5 bicycle spaces required - 5 provided

NOTE: NO WETLANDS ON THIS SITE.
CAMA LAND USE CLASSIFICATION: "URBAN"
SITE NOT IN A SHOD OR COD.
APPROXIMATE TIME TO COMPLETION: UNDER 1 YEAR.

PAVEMENT MARKING
ARROWS MUST BE AT LEAST
1/2 SIZE STANDARD ROADWAY
ARROWS AS PER CITY TECH.STDS.

TRAFFIC CONTROL SIGNS
AND PAVEMENT MARKINGS
AS PER CITY and NCDOT STANDARDS.

ONE SIGNIFICANT TREE ON SITE TO BE PRESERVED.
REGULATED TREES TO BE REMOVED ARE FOR ESSENTIAL SITE IMPROVEMENTS. NO REGULATED TREES ARE LOCATED IN EXCESS PARKING AREAS.

NOTE: DETAILED LANDSCAPING PLAN TO CITY STANDARDS BY OTHERS.

SITE DATA TABLE:

TAX PARCEL IDENTIFICATION NUMBERS:
R05507-002-069-000
DB 1991 PG 087

ZONING: O&I-1

SETBACKS OF BUILDING:
REQUIRED: FRONT – 20' REAR – 25' SIDE – 10'
PROVIDED: FRONT – 59' REAR – 140' SIDE – 21'

ACREAGE = 1.45 ACRES (63,314 sf)

LOT COVERAGE:
BUILDINGS & OVERHANGS ETC – 4,140 SF
PARKING & DRIVES – 30,850 SF
SIDEWALKS ETC – 2,135 SF
"FUTURE" – 863 SF

TOTAL IMPERVIOUS = 37,988 SF = 60% OF 1.45 ACRES

ONE BUILDING PROPOSED FOR BOJANGLES' 520 S. COLLEGE ROAD
ONE STORY – ADDRESS: 520 S. COLLEGE ROAD
BUILDING OUTSIDE SIZE = 4,140 SF ; BUILDING LOT COVERAGE = 7%

HANDICAPPED PARKING SIGN DETAIL

NOT TO SCALE

ADDITIONAL NOTES:

NCDOT PERMIT REQUIRED FOR ANY WORK IN COLLEGE ROAD R/W.
CONTRACTOR RESPONSIBLE FOR PERMIT AND COORDINATION WITH NCDOT.
ALL WORK IN R/W TO BE INSTALLED IN ACCORDANCE WITH CITY and NCDOT TECHNICAL STANDARDS.

CFPUA COORDINATION REQUIRED FOR ANY UTILITY SERVICES WORK.
CONTRACTOR RESPONSIBLE FOR ANY PERMIT OR COORDINATION WITH CFPUA.
ALL SERVICES TO BE INSTALLED IN ACCORDANCE WITH CITY and CFPUA TECHNICAL STANDARDS.

PROPOSED GRADES AND SPOT ELEVATIONS SHOWN ARE THE MINIMUM NECESSARY TO ENSURE ADEQUATE DRAINAGE AND ADA COMPLIANCE. CONTRACTOR AND STAKE-OUT SURVEYOR ARE RESPONSIBLE FOR ENSURING THAT ALL BUILT UPON AREAS ARE CONSTRUCTED SO THAT RUNOFF FROM THEM IS DIRECTED TO THE STORM SEWER COLLECTION SYSTEM INLETS AND THAT PROJECT COMPLIES WITH ADA STANDARDS.

INSTALL LOW-FLOW WATER FIXTURES. UTILIZE MOISTURE SENSORS IN IRRIGATION SYSTEM.

TREE PROTECTION DURING CONSTRUCTION

1. CLEARLY MARK THE TREES TO BE SAVED PRIOR TO CONSTRUCTION AND ERECT A PROTECTIVE BARRIER AT THE CRZ. TREE PROTECTION BARRIER SHALL BE MAINTAINED UNTIL CONSTRUCTION IS COMPLETE.
2. CRITICAL ROOT ZONE (CRZ) DISTANCE SHALL BE DETERMINED BY DIAMETER OF THE TREE AT BREAST HEIGHT.
3. DO NOT COMPACT SOIL BENEATH TREES. NO VEHICLE SHALL BE ALLOWED TO PARK UNDER TREES. NO HEAVY MATERIALS SHALL BE STORED BENEATH TREES. DAMAGING THE BARK WITH LAWNMOWERS, CONSTRUCTION EQUIPMENT, OR ANYTHING ELSE IS PROHIBITED. CUTTING OF LARGE STRUCTURAL ROOTS LOCATED NEAR THE BASE OF THE TRUNK IS PROHIBITED.
4. CUT AND FILL WITHIN DIAMETER OF TREE GROWN.
5. WHERE SIDEWALKS AND PATHWAYS PASS WITHIN CRZ, EXTRA CARE SHALL BE TAKEN TO AVOID DAMAGE TO THE ROOTS. ALTERNATE CONSTRUCTION METHODS, SUCH AS A REINFORCED SIDEWALK, SHALL BE IMPLEMENTED AS NECESSARY.

NOTE:
THE CRITICAL ROOT ZONE (CRZ) OF A TREE IS WHERE THE MAJORITY OF A TREE'S ROOTS LAY. 85% OF MOST TREE ROOTS ARE FOUND IN THE TOP 24" OF THE SOIL AND SUPPLY THE MAJORITY OF NUTRIENTS AND WATER. GENERALLY, ROOTS SPREAD OUT 2-2X THE HEIGHT OF THE TREE.

NOTE:
CROWN OF THE TREE IS NEEDED FOR LEAF GROWTH TO PRODUCE OXYGEN, FILTER THE AIR, REDUCE WIND AND SOFTEN NOISE. DO NOT DISFIGURE CROWN WITH INTENSIVE PRUNING.

NOTES:
1. PROTECT CRITICAL ROOT ZONE (CRZ) OF TREES PRIOR TO CONSTRUCTION. CLEARLY MARK THE TREES AND ERECT A PROTECTIVE BARRIER AT THE CRZ. BARRIER SHALL BE MAINTAINED UNTIL CONSTRUCTION IS COMPLETE.
2. CRZ RADIUS IS 1 FT PER INCH OF TREE DIAMETER AT BREAST HEIGHT (DBH).
3. IF CONSTRUCTION OCCURS WITHIN THE CRZ, AT LEAST 12" OF MULCH AND/OR LOGGING MATTS SHALL BE PLACED WHERE MACHINERY MANEUVERS TO REDUCE SOIL COMPACTION IN THIS ZONE.
4. WHERE SIDEWALKS AND PATHWAYS PASS WITHIN CRZ, EXTRA CARE SHALL BE TAKEN TO AVOID DAMAGE TO THE ROOTS. ALTERNATE CONSTRUCTION METHODS, SUCH AS A REINFORCED SIDEWALK, SHALL BE IMPLEMENTED AS NECESSARY.
5. FOR ALL TREES, CUTTING OF LARGE STRUCTURAL ROOTS LOCATED NEAR THE BASE OF THE TRUNK IS PROHIBITED. DO NOT COMPACT SOIL BENEATH TREES. NO VEHICLE SHALL BE ALLOWED TO PARK UNDER TREES. NO MATERIALS OR EQUIPMENT SHALL BE STORED BENEATH TREES. DAMAGING THE BARK WITH LAWNMOWERS, CONSTRUCTION EQUIPMENT, OR ANYTHING ELSE IS PROHIBITED. CONTRACTOR SHALL REPAIR DAMAGE TO TREES.
6. FAILING TO INSTALL OR MAINTAIN PROTECTION MEASURES SHALL RESULT IN A STOP WORK ORDER AND FINE OF $500/DAY. DISTURBANCE OTHER THAN THAT ALLOWED ON THE APPROVED PLAN WILL REQUIRE OWNER TO POST A LETTER OF CREDIT FOR 3 YRS FOR TREE MITIGATION.

NOTES:
1. THE TREE PROTECTION FENCING SHALL NOT BE VIOLATED FOR THE ENTIRE DURATION OF THE PROJECT WITHOUT APPROVAL FROM URBAN FORESTRY STAFF.
2. WARNING SIGNS TO BE MADE OF DURABLE, WEATHERPROOF MATERIAL. LETTERS TO BE 3" HIGH, MINIMUM, CLEARLY LEGIBLE AND SPACED AS DETAILED.
3. SIGNS SHALL BE PLACED AT 50' MAXIMUM INTERVALS. PLACE A SIGN AT EACH END OF LINEAR TREE PROTECTION AND 50' ON CENTER THEREAFTER. FOR TREE PROTECTION AREAS LESS THAN 100' IN PERIMETER, PROVIDE NO LESS THAN TWO SIGNS PER PROTECTION AREA.
4. ATTACH SIGNS SECURELY TO FENCE POSTS AND FABRIC. MAINTAIN TREE PROTECTION FENCE AND SIGNS THROUGHOUT DURATION OF PROJECT.
5. TREE PROTECTION FENCING AND SIGNAGE SHALL BE REMOVED AFTER CONSTRUCTION.
6. ADDITIONAL SIGNS MAY BE REQUIRED BY CITY OF WILMINGTON, BASED ON ACTUAL FIELD CONDITIONS.

CITY OF WILMINGTON SD 2-17

DRAINAGE AREA TO BMP POND IS ENTIRE LOT = 63,314 SF

AREAS INSET PLAN

BOJANGLES' College Road

SCALE: 1"= 30'

VERTICAL CURB AND GUTTER

MEDIAN VERTICAL CURB AND GUTTER

SLOPE CURB

NOTES: 1. EXPANSION JOINT MATERIAL TO COMPLY WITH CURRENT NCDOT STANDARDS
2. 50' MAX EXPANSION JOINT SPACING, 10' MAX CONTRACTION JOINT SPACING
3. MINIMUM INSTALLATION LENGTH IS 5 FT.
4. CONCRETE TO BE 3000 PSI MIN.
5. VERTICAL CURB AND GUTTER BASE CAN BE SLOPED 3/4" OR USE A FLAT BASE

SEE SHEET 3 FOR CURBING LOCATIONS

CITY OF WILMINGTON SD 3-11

FINAL DESIGN
NOT RELEASED FOR CONSTRUCTION

STORMWATER MANAGEMENT PLAN APPROVED
CITY OF WILMINGTON
ENGINEERING DEPARTMENT
DATE _____
PERMIT # _____
SIGNED_____

Approved Construction Plan

	Name	Date
Planning		
Traffic		
Fire		

For each open utility cut of City streets, a $325 permit shall be required from the City prior to occupancy and/or project acceptance.

REV. NO.	REVISIONS	DATE
1	MAJOR REVISION TO DRIVEWAY & DOT R/W	8-07-15

Site & Utilities Plan

BOJANGLES' 520 South College Road

LOCATED IN CITY OF WILMINGTON — *SMITHVILLE TOWNSHIP, NEW HANOVER COUNTY, NORTH CAROLINA*

NORTH CAROLINA PROFESSIONAL ENGINEER SEAL 20007 DAVID S. HOLLIS

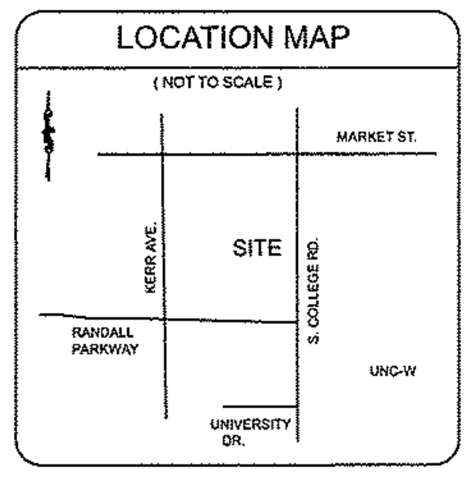
dhollis @ hdsllm.com

DEVELOPER: BOJANGLES' RESTAURANTS INC.
9432 SOUTHERN PINE BLVD.
CHARLOTTE, NC 28273 phone:704-940-8669

HANOVER DESIGN SERVICES, P.A.
LAND SURVEYORS, ENGINEERS & LAND PLANNERS
1123 FLORAL PARKWAY
WILMINGTON, N.C. 28403
PHONE: (910) 343-8002
LICENSE # C-0597

Date:	3-12-15
Scale:	1"= 20'
Drawn:	DSH
Checked:	DSH
Project No:	12354
Sheet No.	2
Of:	4

LOCATION MAP



For each open utility cut of City streets, a $325 permit shall be required from the City prior to occupancy and/or project acceptance.

Approved Construction Plan

	Name	Date
Planning		
Traffic		
Fire		

STORMWATER MANAGEMENT
PLAN
APPROVED
CITY OF WILMINGTON
ENGINEERING DEPARTMENT
DATE ________
PERMIT # ________
SIGNED________________

24' ACCESS\UTILITY EASEMENT

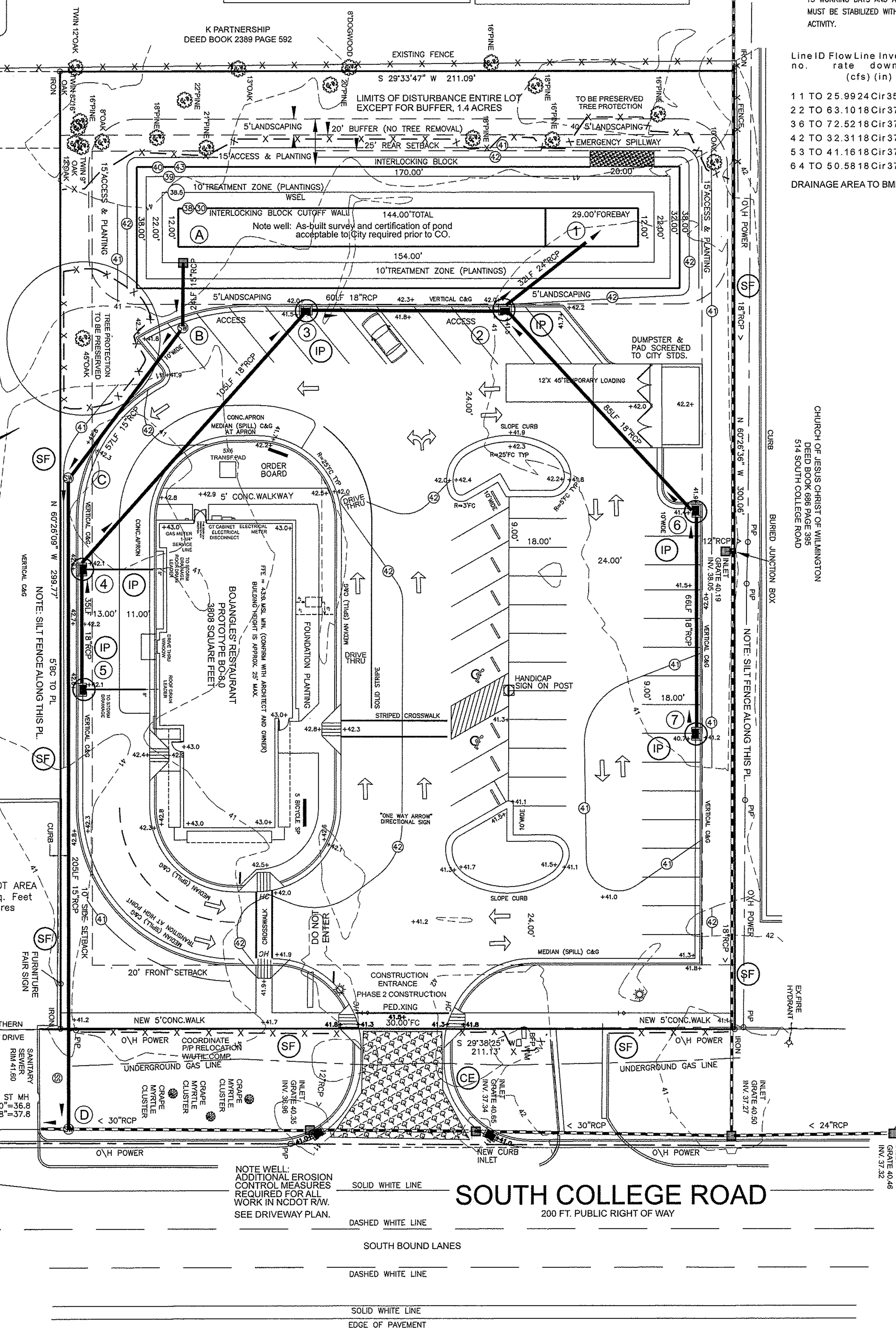
POND STORAGE AREAS

ELEV	AREA
43	6460.0 Sq. Feet
40	6460.0 Sq. Feet
39	5248.0 Sq. Feet
38.5	3388.0 Sq. Feet
38	1728.0 Sq. Feet
30	1728.0 Sq. Feet

INLET DRAINAGE AREAS

INLET	AREA
2	0.10 acre
3	0.20 acre
4	0.10 acre
5	0.10 acre
6	0.10 acre
7	0.50 acre

OVERALL LOT AREA
63314.1 Sq. Feet
1.45 Acres



K PARTNERSHIP
DEED BOOK 2389 PAGE 592
EXISTING FENCE
S 29°33'47" W 211.09'
LIMITS OF DISTURBANCE ENTIRE LOT
EXCEPT FOR BUFFER, 1.4 ACRES
TO BE PRESERVED
TREE PROTECTION
20' BUFFER (NO TREE REMOVAL)
25' REAR SETBACK
EMERGENCY SPILLWAY
INTERLOCKING BLOCK
10' TREATMENT ZONE (PLANTINGS)
INTERLOCKING BLOCK CUTOFF WALL
144.00' TOTAL
29.00' FOREBAY
Note well: As-built survey and certification of pond acceptable to City required prior to CO.
TREE PROTECTION TO BE PRESERVED
DUMPSTER & PAD SCREENED TO CITY STDS.
12'X 45' TEMPORARY LOADING
ORDER BOARD
BOJANGLES' RESTAURANT PROTOTYPE BO-8.0 3808 SQUARE FEET
FOUNDATION PLANTING
STRIPED CROSSWALK
HANDICAP SIGN ON POST
"ONE WAY ARROW" DIRECTIONAL SIGN
NOTE: SILT FENCE ALONG THIS PL.
CHURCH OF JESUS CHRIST OF WILMINGTON
DEED BOOK 656 PAGE 382
514 SOUTH COLLEGE ROAD
BOOMTOWN ADVISORS LLC
DEED BOOK 5737 PAGE 502
524 SOUTH COLLEGE ROAD
ADJACENT BUILDING
NC GRID NAD 83
20' FRONT SETBACK
CONSTRUCTION ENTRANCE
PHASE 2 CONSTRUCTION
NEW 5' CONC. WALK
470.0' TO THE NORTHERN R/W OF UNIVERSITY DRIVE
UNDERGROUND GAS LINE
O\H POWER
NEW ST MH
IE 30"=36.8
IE 18"=37.6
NEW CURB INLET
FURNITURE FAIR SIGN
CRAPE MYRTLE CLUSTER
SOUTH COLLEGE ROAD
200 FT. PUBLIC RIGHT OF WAY
SOLID WHITE LINE
DASHED WHITE LINE
SOUTH BOUND LANES
EDGE OF PAVEMENT
NOTE WELL:
ADDITIONAL EROSION CONTROL MEASURES REQUIRED FOR ALL WORK IN NCDOT R/W.
SEE DRIVEWAY PLAN.
SCALE IN FEET: 1"= 20'

STABILIZATION TIME FRAMES:

SITE AREA DESCRIPTION	STABILIZATION
Perimeter dikes, swales, ditches and slopes	7 DAYS
High Quality Water (HQW) Zones	7 DAYS
Slopes steeper than 3:1	7 DAYS
Slopes 3:1 or flatter	14 DAYS
All other areas with slopes flatter than 4:1	14 DAYS

NOTE WELL:

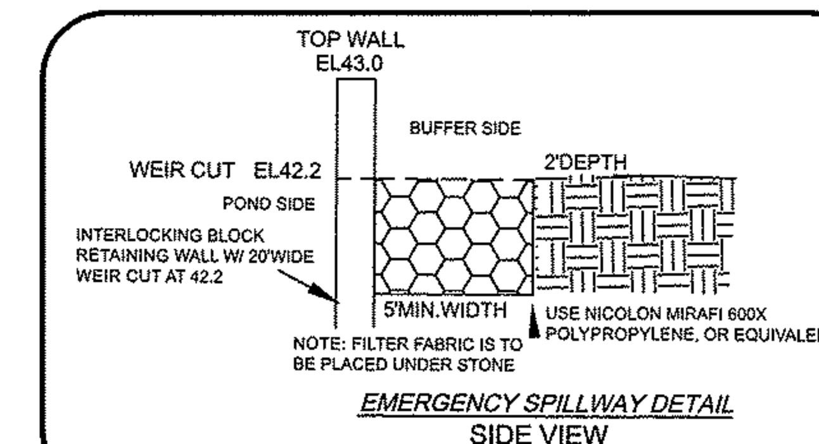
ANY AREAS ON-SITE WITHOUT ACTIVITY SHALL BE STABILIZED WITHIN 15 WORKING DAYS AND AS ABOVE. ALL SLOPES MUST BE STABILIZED WITHIN 21 CALENDAR DAYS OF CEASE OF ANY ACTIVITY.

DETAILS SHOWN ARE TYPICAL OF INSTALLATIONS REQUIRED BY CITY AND COUNTY. THIS SHEET DOES NOT PURPORT TO SHOW ALL REQUIRED CONSTRUCTION DETAILS, BUT RATHER SERVES AS A GUIDE. THE CONTRACTOR IS RESPONSIBLE FOR ADHERING TO ALL CITY, COUNTY AND STATE CODES AND CONSTRUCTION STANDARDS.

No geotechnical testing has been performed on site. No warranty is made for suitability of subgrade, and undercut and any required replacement with suitable material shall be the responsibility of the contractor.

Line ID no.	Flow rate (cfs)	Line (in)	Invert down (ft)	Invert up (ft)	Line slope (%)	Gr down (ft)	Gr up (ft)	Dnstrm line no.
1 1 TO 2	5.99	24 Cir	35.00	36.50	4.69	-------	41.50	End
2 2 TO 6	3.10	18 Cir	37.00	37.40	0.47	41.50	41.40	1
3 6 TO 7	2.52	18 Cir	37.40	37.70	0.45	41.40	40.70	2
4 2 TO 3	2.31	18 Cir	37.00	37.30	0.50	41.50	41.50	1
5 3 TO 4	1.16	18 Cir	37.30	37.80	0.48	41.50	42.10	4
6 4 TO 5	0.58	18 Cir	37.80	38.00	0.57	42.10	42.10	5

DRAINAGE AREA TO BMP POND IS ENTIRE LOT = 63,314 SF



EMERGENCY SPILLWAY DETAIL
SIDE VIEW
NTS

PLANNED EROSION AND SEDIMENT CONTROL PRACTICES -

(CE) 1. TEMPORARY GRAVEL CONSTRUCTION ENTRANCE
Practice 6.06
Shall be installed at the entrances of the proposed project in and from College Road drives as shown. Drainage is away from the road and sedimentation will be controlled with downstream practices. During wet weather it may be necessary to wash truck tires at these locations.

2. LAND GRADING
Practice 6.02
Grading should be limited to areas as shown on the Plans. Cut and fill slopes shall be 3:1 or flatter except where specifically indicated. Care shall be taken during land grading activities not to damage existing trees that are not required to be removed.

(SF) —X—X 3. SEDIMENT FENCE
Practice 6.62
Sediment fencing should be installed as shown on the Plan, first, to delineate and protect low areas, and around any temporary stockpile areas as necessary to prevent any graded interior areas from eroding onto adjacent lands or roadway, or into inlets.

(OP) 4. OUTLET STABILIZATION
Practice 6.41
Riprap aprons will be located at the downstream end of all discharge pipes to prevent scour.

(SB) 7. SEDIMENT BASIN
Practice 6.61
The Sediment Basin is to be constructed (see Construction Schedule) as the primary Practice to prevent sediment from leaving the site. Detailed design and spillway configurations are specified in the details as shown on this Plan and the Narrative. The PVC outlet is to be blocked and weir blocked during the sedimentation function until entire watershed is permanently stabilized and pond is converted to permanent stormwater management detention / retention function. The Contractor will then openl the control orifices.

(IP) 8. INLET PROTECTION
Practice 6.51
Storm sewer inlet barriers of hardware cloth and gravel inlet protection are to be constructed to help prevent sediment from entering the storm sewer system. After permanent stabilization of the entire contributing watershed area, the storm sewer system is to be flushed to remove accumulated sediment and ensure design flows.

BOJANGLES COLLEGE ROAD
Wet detention/retention pond
Additional Calculation Summary for City of Wilmington :

WATER QUALITY CONSIDERATIONS –

Impervious area calculations: See Project Data Sheet

TOTAL IMPERVIOUS = 37,988 sf
TOTAL AREA DRAINING TO POND = 63,314 sf (1.45 acres)

SA REQUIRED: 37,988 / 63,314 = 0.60, or 60%

At 4.5' average depth, 90% TSS removal, from chart – SA/DA factor = 4.8
63,314 x 0.01 x 4.8 = 3,039 sf SA REQUIRED
At Elev. = 38.5 = 3,388 sf SA PROVIDED

VOLUME REQUIRED: R=[(P)(Pj)(Rv)/12](A)
SEE PAGES A.1 and A.2, "Controlling Urban Runoff: A Practical Manual for Planning and Designing Urban BMPs"
(P)= 1.5"
(Pj)= 0.9
(Rv)= 0.05 + 0.9(37,988/63,314) = 0.59
(A)= 63,314 sf
R= [(1.5)(0.59/12](63,314) = 0.10 acre feet
= 4,669 cf REQUIRED STORAGE
8,013 cf PROVIDED STORAGE @ ELEV.= 40.0
DRAWDOWN:
Average head from storage elevation to orifice –
40.0–38.5 / 3 = 0.5'
1" drain (1" orifice in 6" PVC Cap) to draw–down pond:
Orifice equation: Q = CA(2gh)↑1/2
T = 5 days

AQUATIC VEGETATION

AQUATIC VEGETATION ZONE:
FROM EL= 38.0 TO EL= 39.0
SUITABLE SPECIES FOR PLANTING IN THIS ZONE ARE AS FOLLOWS:
- SAGITTARIA LATIFOLIA (COMMON ARROWHEAD)
- SAGITTARIA LANCIFOLIA (DUCK POTATO)
- SAURURUS CERNUUS (LIZARDTAIL)
- PELTANDRA VIRGINICA (ARROW ARUM)

IF ONE OR MORE OF THE SUGGESTED SPECIES IS UNAVAILABLE, APPROPRIATE WETLANDS VEGETATION COMMON TO THE COASTAL CAROLINA REGION MAY BE SUBSTITUTED.

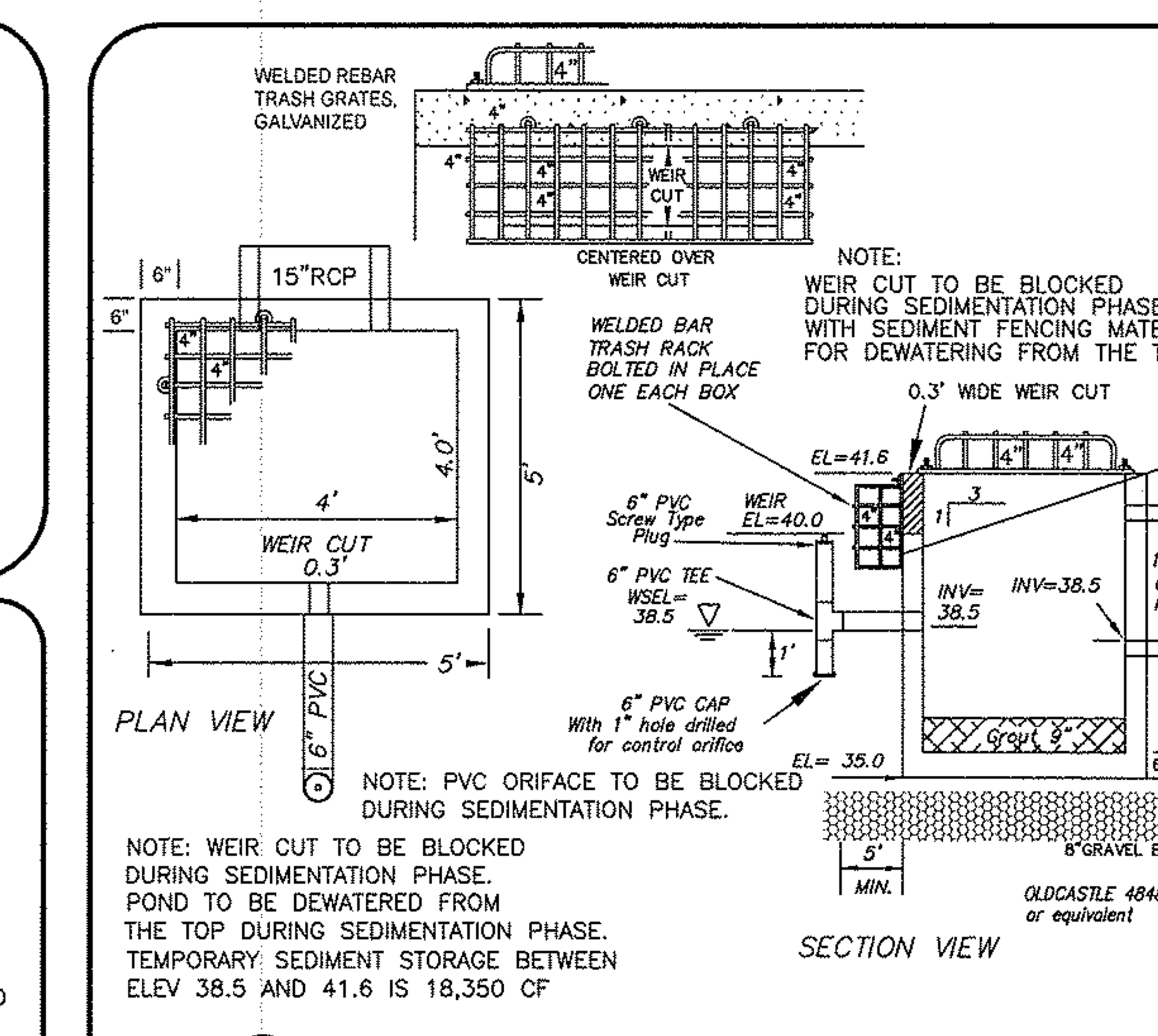
50 PLANTS PER 200 SF OR APPROX. 20 LF AT WATERLINE TO BE PLANTED; APPROXIMATELY 880 PLANTS FOR POND.

NOTE:
REFERENCE IS MADE TO ADDITIONAL RECOMMENDATIONS FOR PLANTINGS IN THE NCDENR BMP MANUAL, SECTIONS 9.4.1 AND 6.4.2 ESPECIALLY.

PEAK DISCHARGE SUMMARY -
Q(1) pre–developed = 1.1 cfs
Q(10) pre–developed = 1.2 cfs
Q(25) pre–developed = 1.8 cfs
Q(1) post–developed = 0.0 cfs @ WSEL = 39.3
Q(10) post–developed = 1.0 cfs @ WSEL = 41.1
Q(25) post–developed = 1.7 cfs @ WSEL = 41.6
Q(100)post–developed = 5.4 cfs @ WSEL = 41.8
Q(50)post–BLOCKED = 3.0 cfs @ WSEL = 42.3

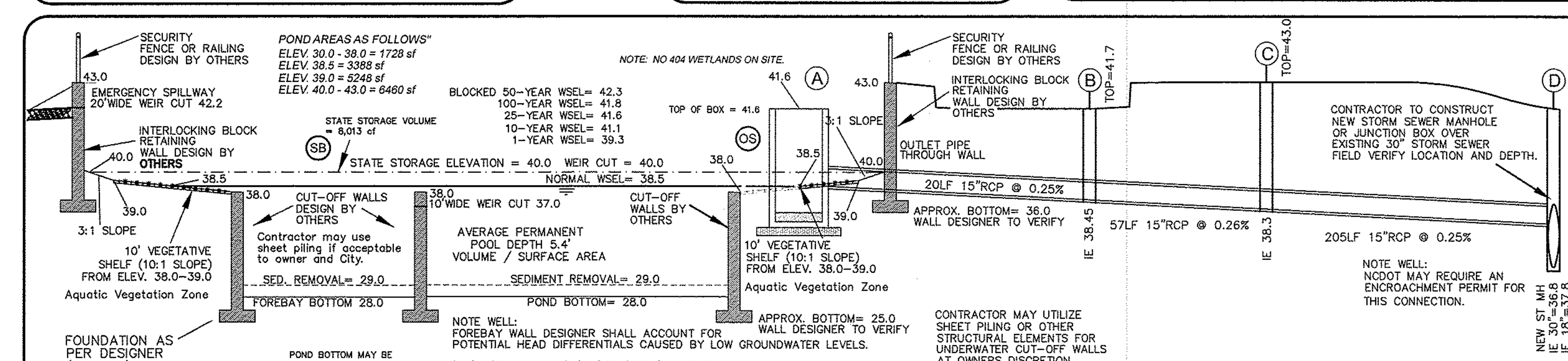
STATE WATER QUALITY POND CONSIDERATIONS -
Surface Area required = 3,039 sf
Surface Area provided = 3,388 cf @ WSEL 38.5
Storage Volume required = 4,669 cf
Storage Volume provided = 8,013 cf @ WSEL 40.0
Storage Volume Drawdown Time = 5 days

SEDIMENTATION POND CONSIDERATIONS -
Storage required = 1.4 X 3600 = 5,040 cf
Storage provided = 18,000 cf ±



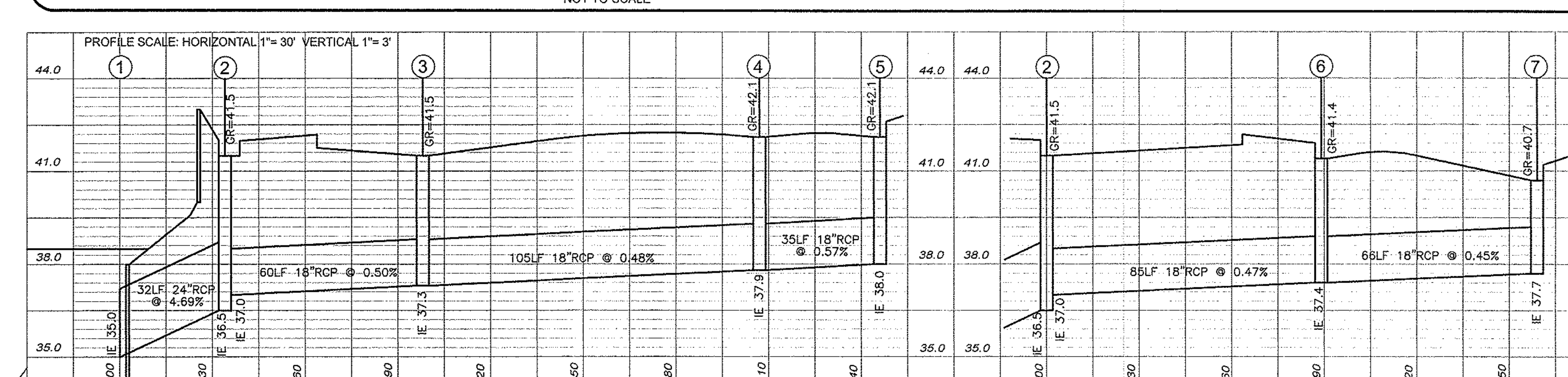
WELDED REBAR TRASH GRATES, GALVANIZED
15"RCP
WEIR CUT 0.3'
PLAN VIEW
NOTE: WEIR CUT TO BE BLOCKED DURING SEDIMENTATION PHASE WITH SEDIMENT FENCING MATERIAL FOR DEWATERING FROM THE TOP.
NOTE: PVC ORIFACE TO BE BLOCKED DURING SEDIMENTATION PHASE.
SECTION VIEW
NOTE: WEIR CUT TO BE BLOCKED DURING SEDIMENTATION PHASE. POND TO BE DEWATERED FROM THE TOP DURING SEDIMENTATION PHASE. TEMPORARY SEDIMENT STORAGE BETWEEN ELEV 38.5 AND 41.6 IS 18,350 CF

(OS) OUTLET STRUCTURE DETAILS (POND 1)
NOT TO SCALE



SECURITY FENCE OR RAILING DESIGN BY OTHERS
POND AREAS AS FOLLOWS"
ELEV. 30.0 - 38.0 = 1728 sf
ELEV. 38.5 = 3388 sf
ELEV. 39.0 = 5248 sf
ELEV. 40.0 - 43.0 = 6460 sf
NOTE: NO 404 WETLANDS ON SITE.
EMERGENCY SPILLWAY 20'WIDE WEIR CUT 42.2
BLOCKED 50–YEAR WSEL= 42.3
100–YEAR WSEL= 41.8
STATE STORAGE ELEVATION = 40.0 WEIR CUT = 40.0
NORMAL WSEL = 38.5
AVERAGE PERMANENT POOL DEPTH 5.4' VOLUME / SURFACE AREA
FOREBAY BOTTOM 28.0
POND BOTTOM= 28.0
FOUNDATION AS PER DESIGNER (TYPICAL)
CONTRACTOR TO CONSTRUCT NEW STORM SEWER MANHOLE OR JUNCTION BOX OVER EXISTING 30" STORM SEWER FIELD VERIFY LOCATION AND DEPTH.
NOTE WELL: NCDOT MAY REQUIRE AN ENCROACHMENT PERMIT FOR THIS CONNECTION.
CONTRACTOR MAY UTILIZE SHEET PILING OR OTHER STRUCTURAL ELEMENTS FOR UNDERWATER CUT-OFF WALLS AT OWNERS DISCRETION.
STRUCTURAL ELEMENTS DESIGN BY OTHERS.

POND CROSS SECTION DETAIL
NOT TO SCALE



EROSION CONTROL LEGEND (SEE NEXT SHEET FOR ADDITIONAL)

Symbol	Description
CE	CONSTRUCTION ENTRANCE (TYPICAL)
SF —— X ——	SILT FENCE (NEW) (TYPICAL)
IP	INLET PROTECTION (TYPICAL)
OP	OUTLET PROTECTION (TYPICAL)
SB	SEDIMENT BASIN

FINAL DESIGN NOT RELEASED FOR CONSTRUCTION

NOTE WELL:
1. All storm water runoff from built upon areas (i.e. impervious surfaces) to be directed to the storm sewer collection system (i.e. storm inlets or pond forebays) by swales, overland flow, additional grading, or landscaping inlets.

REV. NO.	REVISIONS	DATE
1	MAJOR REVISION TO DRIVEWAY & DOT R/W	REV. NO.

Site Grading, Stormwater and Erosion Control Measures
BOJANGLES'
520 South College Rd.
LOCATED IN CITY OF WILMINGTON
SMITHVILLE TOWNSHIP
NEW HANOVER COUNTY, NORTH CAROLINA

NORTH CAROLINA PROFESSIONAL SEAL 20007 ENGINEER DAVID S. HOLLIS
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Project No: 12354SHT3
Sheet No: 3 Of: 4

(SB)

Sediment Basin

Specifications # 6.61 - Construction Specifications

1.Site preparations-Clear, grub and strip topsoil from areas under the embankment to remove trees, vegetation, roots and other objectionable material. Delay clearing the pool area until the dam is complete and then remove brush, trees and other objectionable materials to facilitate sediment cleanout. Stockpile all topsoil or soil containing organic matter for use on the outer shell of the embankment to facilitate vegetative establishment. Place temporary sediment control measures below the basin as needed.

2.Cut-off trench-Excavate a cut-off trench along the centerline of the earth fill embankment. Cut the trench to stable soil material, but in no case make it less than 2 ft. deep. The cut-off trench must extend into both abutments to at least the elevation of the riser crest. Make the minimum bottom width wide enough to permit operation of excavation and compaction equipment but in no case less than 2 ft. Make side slopes of the trench no steeper than 1:1. Compaction requirements are the same as those for the embankment. Keep the trench dry during backfilling and compaction operations.

3.Embankment-Take fill material from the approved areas shown on the plans. It should be clean mineral soil, free of roots, woody vegetation, rocks and other objectionable material. Scarify areas on which fill is be placed before placing fill. The fill material must contain sufficient moisture so it can be formed by hand into a ball without crumbling. If water can be squeezed out of the ball, it is too wet for proper compaction. Place fill material in 6 to 8-inch continuous layers over the entire length of the fill area and then compact it. Compaction may be obtained by routing the construction hauling equipment over the fill so that the entire surface of each layer is traversed by at least one wheel or tread track of the heavy equipment, or a compactor may be used. Construct the embankment to an elevation 10% higher than the design height to allow for settling.

4.Conduit spillways-Securely attach the riser to the barrel or barrel stub to make a watertight structural connection. Secure all connections between barrel sections by approved watertight assemblies. Place the barrel and riser on a firm, smooth foundation of impervious soil. Do not use pervious material such as sand, gravel, or crushed stone as backfill around the pipe or anti-seep collars. Place the fill material around the pipe spillway in 4-inch layers and compact it under and around the pipe to at least the same density as the adjacent embankment. Care must be taken not to raise the pipe from firm contact with its foundation when compacting under the pipe haunches.

Place a minimum depth of 2ft. of hand-compacted backfill over the pipe spillway before crossing it with construction equipment. Anchor the riser in place by concrete or other satisfactory means to prevent flotation. In no case should the pipe conduit be installed by cutting a trench through the dam after the embankment is complete.

5.Emergency spillway-Install the emergency spillway in undisturbed soil. The achievement of planned elevations, grade, design width, and entrance and exit channel slopes are critical to the successful operation of emergency spillway.

6.Inlets-Discharge water into the basin in a manner to prevent erosion. Use diversions with outlet protection to divert sediment-laden water to the upper end of the pool area to improve basin trap efficiency (References: Runoff Control Measures and Outlet Protection).

7.Erosion control-Construct the structure so that the disturbed area is minimized. Divert surface water away from bare areas. Complete the embankment before the area is cleared. Stabilize the emergency spillway embankment and all other disturbed areas above the crest of the principal spillway immediately after construction (References: Surface Stabilization).

8.Safety-Sediment basins may attract children and can be dangerous. Avoid steep side slopes, and fence and mark basins with warning signs if trespassing is likely. Follow all state and local requirements.

Maintenance

Check sediment basins after periods of significant runoff. Remove sediment and restore the basin to its original dimensions when sediment accumulates to one-half the design depth.

Check the embankment, spillways, and outlet for erosion damage, and inspect the embankment for piping and settlement. Make all necessary repairs immediately. Remove all trash and other debris from the riser and pool area.

(OP)

Outlet Stabilization Structure

Specification # 6.41 - Construction Specifications

1. Ensure that the subgrade for the filter and riprap follows the required lines and grades shown in the plan. Compact any fill required in the subgrade to the density of the surrounding undisturbed material. Low areas in the subgrade on undisturbed soil may also be filled by increasing the riprap thickness.
2. The riprap and gravel filter must conform to the specified grading limits shown on the plans.
3. Filter cloth, when used, must meet design requirements and be properly protected from punching or tearing during installation. Repair any damage by removing the riprap and placing another piece of filter cloth over the damaged area. All connecting joints should overlap a minimum of l ft. If the damage is extensive, replace the entire filter cloth.
4. Riprap may be placed by equipment, but take care to avoid damaging the filter.
5. The minimum thickness of the riprap should be 1.5 times the maximum stone diameter.
6. Riprap may be field stone or rough quarry stone. It should be hard, angular, highly weather-resistant and well graded.
6. Construct the apron on zero grade with no overfall at the end. Make the top of the riprap at the downstream end level with the receiving area or slightly below it.
8. Ensure that the apron is properly aligned with the receiving stream and preferably straight throughout its length. If a curve is needed to fit site conditions, place it in the upper section of the apron.
9. Immediately after construction, stabilize all disturbed areas with vegetation (Practice 6.10, Temporary Seeding, and 6.11, Permanent Seeding).

Maintenance

Inspect riprap outlet structures after heavy rains to see if any erosion around or below the riprap has taken place or if stones have been dislodged. Immediately make all needed repairs to prevent further damage.

NOTE WELL:

EROSION CONTROL DETAILS AND SPECIFICATIONS ARE AS PER THE "EROSION AND SEDIMENT CONTROL PLANNING AND DESIGN MANUAL" OF THE STATE OF NORTH CAROLINA, DEPARTMENT OF ENVIRONMENT AND NATURAL RESOURCES, LATEST EDITION. PRACTICE NUMBERS REFER TO THIS MANUAL.

DETAILS SHOWN ARE TYPICAL OF INSTALLATIONS REQUIRED BY THE CITY OF WILMINGTON. THIS SHEET DOES NOT PURPORT TO SHOW ALL REQUIRED CONSTRUCTION DETAILS, BUT RATHER SERVES AS A GUIDE. THE CONTRACTOR IS RESPONSIBLE FOR ADHERING TO ALL CITY AND STATE CODES AND CONSTRUCTION STANDARDS.

DESIGNER'S CERTIFICATION –

"I hereby certify that this plan has been prepared in accordance with the latest Wilmington Standards and Specifications for Stormwater Management and Chapter 20 of the Code of Ordinanances of the City of Wilmington."

Signature: [signature]

Printed Name and Title: David S. Hollis, PE, PLS

Date: 3·26·15

Registration Number: PE # 20007

OWNER'S / DEVELOPER'S CERTIFICATION:

"I / We hereby certify that any clearing, grading, construction or development, or all of these, will be done pursuant to this plan and that the applicable Stormwater Management conditions and requirements of the City of Wilmington, the State of North Carolina, and the Federal Government and its agencies are hereby made part of this plan."

Signature: [signature]

Printed Name and Title: Claude Clark, Director of Construction and Engineering, Bojangles' Restaurants, Inc.

Date: 3·25·15

CONSTRUCTION SCHEDULE -

SEE PLAN THIS SHEET and ALSO STAGING / DEMOLITION PLAN

1. Obtain approval of Plan and any necessary permits, and hold a pre-construction conference prior to commencing any work.
2. Flag work limits and stake-out building and identify trees to be removed. Phase 1 establish silt Fencing and construction entrance.
3. Phase 2, install Gravel Construction Entrances.
4. Install Silt Fencing as shown on Plan prior to clearing and grubbing site. Sediment Basin to be constructed prior to remaining site work.
5. Install utilities in roadway and drives, establish final grades and stabilize parking areas and roadways with stone base course.
6. Final grade building site, install non-municipal utilities as needed, and vegetatively stabilize areas where building construction is not imminent.
7. All erosion and sediment control Practices are to be inspected weekly and after any rainfall, and repaired as necessary.
8. Upon completion of building construction, the roadway and parking areas are to be paved and all areas permanently vegetatively stabilized. After site stabilization, temporary measures are to be removed and the Sediment Basin cleaned to its original design contours, if necessary, and riser structures orifaces opened, so as to function as a stormwater management / water quality retention pond.

MAINTENANCE PLAN -

1. All measures to be inspected weekly and after any rainfall event and needed repairs made immediately.
2. Sediment Basin to be cleaned out when the level of sediment reaches as shown on individual pond plans.
3. Construction entrance to be maintained in a condition to prevent mud or sediment from leaving the construction site. Periodic topdressing with 2"stone may be required. Remove all objectionable material spilled, washed, or tracked onto public roadways immediately.
4. Sediment to be removed from behind the any Silt Fence and inlet protection devices when it becomes 0.5' deep. Fencing and inlet protection to be repaired as needed to maintain a barrier.
5. All seeded areas shall be fertilized, mulched, and re-seeded as necessary, according to specifications provided, to maintain a suitable vegetative cover.
6. Inspect rip-rap outlet structures weekly and after significant (1/2 inch or greater) rainfall events to see if any erosion around or below rip-rap has taken place, or if stones have been dislodged. Immediately make all needed repairs to prevent further damage.

VEGETATIVE PLAN -

1. Permanent vegetation to be established in accordance with "North Carolina Erosion and Sediment Control Planning and Design Manual", Section 6.11, latest version. See next Sheet.

(IP)

HARDWARE CLOTH & GRAVEL INLET PROTECTION (Temporary)

Specification # 6.51 - Construction Specifications

As fabric, use a 19-gauge hardware cloth with 1/4 inch mesh openings, with a total height of 2 feet minimum. The sediment control stone, with a height of 16 inches, should have an outside slope of 2:1.

For stakes, use steel T posts of 1.25 lb/linear foot with a minimum length of 5 ft., driven 2 ft. into the ground, maximum spacing of 4 feet.

Specifications

1. Uniformly grade a shallow depression approaching the inlet.
2. Drive 5-foot steel posts 2 feet into the ground surrounding the inlet. Space posts evenly around the perimeter of the inlet, a maximum of 4 feet apart.
3. Surround the posts with wire mesh hardware cloth. Secure the wire mesh to the steel posts at the top, middle, and bottom. Placing a 2-foot anchoring flap of the mesh under the gravel is recommended.
4. Place clean gravel (NCDOT #5 or #57 stone) on a 2:1 slope with a height of 16 inches around the wire, and smooth to an even grade.
5. Once the contributing drainage area has been stabilized, remove the accumulated sediment, and establish final grades.
6. Compact the area properly and stabilize with groundcover.

Maintenance

Inspect the barrier after each significant rain and make repairs at needed.

Sediment to be removed from behind the any inlet protection devices when it becomes 0.5' deep.

Remove sediment from the area as necessary to provide adequate storage volume for the next rain. Take care not to damage or undercut the hardware cloth during sediment removal.

When the contributing drainage area has been adequately stabilized, remove all materials and any unstable sediment and dispose of them properly. Bring the disturbed area to the grade of the drop inlet and smooth and compact it. Appropriately stabilize all bare areas around the inlet.

Land Grading

Specification # 6.02 - Construction Specifications

1.Construct and maintain all erosion and sedimentation control practices and measures in accordance with the approved sedimentation control plan and construction schedule.

2.Remove good topsoil from areas to be graded and filled, and preserve it for use in finishing the grading of all critical areas.

3.Scarify areas to be topsoiled to a minimum depth of 2 inches before placing topsoil (Practice 6.04, Topsoiling).

4.Clear and grub areas to be filled to remove trees, vegetation, roots, or other objectionable material that would effect the planned stability of the fill.

5.Ensure that fill material is free of brush, rubbish, rocks, logs, stumps, building debris, and other materials inappropriate for constructing stable fills.

6.Place all fill in layers not to exceed 9 inches in thickness, and compact the layers as required to reduce erosion, slippage, settlement, or other related problems.

7.Do not incorporate frozen material or soft, mucky, or highly compressible materials into fill slopes.

8.Do not place fill on a frozen foundation, due to possible subsidence and slippage.

9.Keep diversions and other water conveyance measures free of sediment during all phases of development.

10.Handle seeps or springs encountered during construction in accordance with approved methods (Practice 6.81, Subsurface Drain).

11.Permanently stabilize all graded areas immediately after final grading is completed on each area in the grading plan. Apply temporary stabilization measures on all graded areas when work is to be interrupted or delayed for 30 working days or longer.

12.Ensure that topsoil stockpiles, borrow areas, and spoil areas are adequately protected from erosion with temporary and final stabilization measures, including sediment fencing and temporary seeding as necessary.

Maintenance

Periodically check all graded areas and the supporting erosion and sedimentation control practices, especially after heavy rainfalls. Promptly remove all sediment from diversions and other water-disposal practices. If washouts or breaks occur, repair them immediately. Prompt maintenance of small eroded areas before they become significant gullies is an essential part of an effective erosion and sedimentation control plan.

Table 6.11s - Seeding No. 4CP for:
Well-Drained Sandy loams to Dry Sands, Coastal Plain; Low to Medium-Care Lawns
Seeding mixture
Species - Centipedegrass - Rate - 10-20 lb/acre (seed) or 33 bu/acre (sprigs)
Seeding dates - Mar. - June, (Sprigging can be done through July where water is available for irrigation.)
Soil amendments - Apply lime and fertilizer according to soil test, or apply 300 lb/acre 10-10-10.
Sprigging - Plant sprigs in furrows with a tractor-drawn transplanter, or broadcast by hand.
Furrows should be 4-6 inches deep and 2ft apart. Place sprigs about 2 ft. apart in the row with one end at or above ground level (Figure 6.11d).
Broadcast at rates shown above, and press sprigs into the top 1 1/2 inches of soil with a disk set straight so that sprigs are not brought back toward the surface.
Mulch - Do not mulch
Maintenance - Fertilize very sparingly- 20 lb/acre nitrogen in spring with no phosphorus. Centipedegrass cannot tolerate high pH or excess fertilizer.

Table 6.11t - Seeding No. 5CP for: Well-Drained Sandy Loams to Dry Sands; Low Maintenance
Seeding mixture
Species Rate (lb/acre)
Pensacola Bahiagrass 50
Sericea lespedeza 30
Common Bermudagrass 10
German millet 10

Seeding notes
1. Where a neat appearance is desired, omit sericea
2. Use common Bermudagrass only on isolated sites where it cannot become a pest. Bermudagrass may be replaced with 5 lb/acre centipedgrass.

Seeding dates - Apr. 1 - July 15
Soil amendments - Apply lime and fertilizer according to soil tests, or apply 3,000 lb/acre ground agricultural limestone and 500 lb/acre 10-10-10 fertilizer.
Mulch
Apply 4,000 lb/acre grain straw or equivalent cover of another suitable mulch. Anchor by tacking with asphalt, roving and netting or by crimping with a mulch anchoring tool. A disk with blades set nearly straight can be used as a mulch anchoring tool.
Maintenance - Refertilize the following Apr. with 50 lb/acre nitrogen. Repeat as growth requires. May be moved only once a year. Where a neat appearance is desired, omit sericea and now as often as needed.

Table 6.11v - Seeding No. 7CP for: Grass-lined Channels; Coastal Plain
Seeding Mixture
Species - Common Bermudagrass - Rate - 40-80 (1/2 lb/1,000 ft)
Seeding dates - Coastal Plain; Apr - July
Soil amendments - Apply lime and fertilizer according to soil tests, or apply 3,000 lb/acre ground agricultural limestone and 500 lb/acre 10-10-10 fertilizer.
Mulch - Use jute, excelsior matting, or other effective channel lining material to cover the bottom of channels and ditches. The lining should extend above the highest calculated depth of flow. On channel side slopes above this height, and in drainages not requiring temporary linings, apply 4,000 lb/acre grain straw and anchor straw by stapling netting over the top.
Mulch and anchoring materials must be allowed to wash down slopes where they can clog drainage devices.
Maintenance -A minimum of 3 weeks is required for establishment. Inspect and repair mulch frequently. Refertilize the following Apr. with 50 lb/acre nitrogen.

Refer to Appendix 8.02 for botanical names

(SF)

Sediment Fence (Silt Fence)

Specification 6.62 - Construction Specifications

MATERIALS

1.Use a synthetic filter fabric or a pervious sheet of polypropylene, nylon, polyester, or polyethylene yarn, which is certified by the manufacturer or supplier as conforming to the requirements shown in Table 6.62b. Synthetic filter fabric should contain ultraviolet ray inhibitors and stabilizers to provide a minimum of 6 months of expected usable construction life at a temperature range of 0 to 120 F.

2.Ensure that posts for sediment fences are 1.33 lb/linear ft steel with a minimum length of 4 ft. Make sure that steel posts have projections to facilitate fastening the fabric.

3.For reinforcement of standard strength filter fabric, use wire fence with a minimum 14 gauge and a maximum mesh spacing of 6 inches.

Table 6.62b
Specifications For Sediment Fence Fabric
Physical Property Requirements
Filtering Efficiency - 85% (mm)
Tensile Strength at Standard Strength- 30 lb/lin in (min)
Extra Strength- 50 lb/lin in (mm)
Slurry Flow Rate - 0.3 gal/sq ft/min (min)

CONSTRUCTION

1.Construct the sediment barrier of standard strength or extra strength synthetic filter fabrics.

2.Ensure that the height of the sediment fence does not exceed 18 inches above the ground surface. (Higher fences may impound volumes of water sufficient to cause failure of the structure.)

3.Construct the filter fabric from a continuous roll cut to the length of the barrier to avoid joints. When joints are necessary, securely fasten the filter cloth only at a support post with overlap to the next post.

4.Support standard strength filter fabric by wire mesh fastened securely to the up slope side of the posts using heavy duty wire staples at least 1 inch long, or tie wires. Extend the wire mesh support to the bottom of the trench.

5.When a wire mesh support fence is used, space posts a maximum of 8 ft apart. Support posts should be driven securely into the ground to a minimum of 18 inches.

6.Extra strength filter fabric with 6ft post spacing does not require wire mesh support fence. Staple or wire the filter fabric directly to posts.

7.Excavate a trench approximately 4 inches wide and 8 inches deep along the proposed line of posts and upslope from the barrier (figure 6.62a).

8.Backfill the trench with compacted soil or gravel placed over the filter fabric.

9.Do not attach filter fabric to existing trees.

Maintenance

Inspect sediment fences at least once a week and after each rainfall. Make any required repairs immediately.

Should the fabric of a sediment fence collapse, tear, decompose or become ineffective, replace it promptly. Replace burlap every 60 days.

Sediment to be removed from behind the any Silt Fence when it becomes 0.5' deep.

Remove sediment deposits as necessary to provide adequate storage volume for the next rain and to reduce pressure on the fence. Take care to avoid undermining the fence during cleanout.

Remove all fencing materials and unstable sediment deposits and bring the area to grade and stabilize it after the contributing drainage area has been properly stabilized.

Permanent Seeding

Specifications # 6.11 - Specifications

Seedbed Requirements

Establishment of vegetation should not be attempted on sites that are unsuitable due to inappropriate soil texture (Table 6.11a), poor drainage, concentrated overland flow, or steepness of slope until measures have been taken to correct these problems.

To maintain a good stand of vegetation, the soil must meet certain minimum requirements as a growth medium. The existing soil should have these criteria:

- Enough fine-grained (silt and clay) material to maintain adequate moisture and nutrient supply (available water capacity of at least .05 inches water to l inch of soil).
- Sufficient pore space to permit root penetration.
- Sufficient depth of soil to provide an adequate root zone. The depth to rock or impermeable layers such as hardpans should be 12 inches or more, except on slopes steeper than 2:1 where the addition of soil is not feasible.
- A favorable pH range for plant growth, usually 6.0-6.5.
- Freedom from large roots, branches, stones, large clods of earth, or trash of any kind. Clods and stones may be left on slopes steeper than 3:1 if they are to be hydroseeded.

If any of the above criteria are not met-i.e., if the existing soil is too coarse, dense, shallow or acidic to foster vegetation-special amendments are required. The soil conditioners described below may be beneficial or, preferably, topsoil may be applied in accordance with Practice 6.04, Topsoiling.

Soil Conditioners

In order to improve the structure or drainage characteristics of a soil, the following material may be added. These amendments should only be necessary where soils have limitations that make them poor for plant growth or for fine turf establishment (see Chapter 3, Vegetative Considerations).

Peat-Appropriate types are sphagnum moss peat, hypnum moss peat, reedsedge peat, or peat humus, all from fresh-water sources. Peat should be shredded and conditioned in storage piles for at least 6 months after excavation.
Sand-clean and free of toxic materials
Vermiculite-horticultural grade and free of toxic substances.
Rotted manure-stable or cattle manure not containing undue amounts of straw or other bedding materials.
Thoroughly rotted sawdust- free of stones and debris. Add 6 lb. Of nitrogen to each cubic yard.
Sludge-Treated sewage and industrial sludges are available in various forms: these should be used only in accordance with local, State and Federal regulations.

Species Selection

Use the key to Permanent Seeding Mixtures (Table 6.11b) to select the most appropriate seeding mixture based on the general site and maintenance factors. A listing of species, including scientific names and characteristics, is given in Appendix 8.02.

Seedbed Preparation

Install necessary mechanical erosion and sedimentation control practices before seeding, and complete grading according to the approved plan.
Lime and fertilizer needs should be determined by soil tests. Soil testing is performed free of charge by the North Carolina Department of Agriculture soil testing laboratory. Directions, sample cartons, and information sheets are available through county agricultural extension offices or from NCDA. Because the NCDA soil testing lab requires 1-6 weeks for sample turn-around, sampling must be planned well in advance of final grading. Testing is also done by commercial laboratories.
When soil test are not available, follow rates suggested on the individual specification sheet for the seeding mix chosen (Tables 6.11c through 6.11v).
Applications rates usually fall into the following ranges:
- Ground agricultural limestone
  Light-textured, sandy soils: 1-1 1/2 tons/acre
  Heavy textured, clayey soils 2-3 tons/acre
- Fertilizer:
  Grasses 800-1200 lb/acre of 10-10-10 (or the equivalent)
  Grass-legume mixtures: 800-1200 lb/acre of 5-10-10 (or the equivalent)

Apply lime and fertilizer evenly and incorporate into the top 4-6 inches of soil by disking or other suitable means. Operate machinery on the contour. When using a hydroseeder, apply lime and fertilizer to a rough, loose surface.

Roughen surfaces according to Practice 6.03, Surface Roughening. Complete seedbed preparation by breaking up large clods and raking into a smooth, uniform surface (slope less than 3:1) Fill in or level depressions than can collect water. Broadcast seed into a freshly loosened seedbed that has not been sealed by rainfall.

Note Well: See Landscaping Plan for additional specifications. Landscaping Plan by others.

(CE)

Temporary Gravel Construction Entrance/Exit

Specification # 6.06 - Construction Specifications

1. Clear the entrance and exit area of all vegetation, roots and other objectionable material and properly grade it.
2. Place the gravel to the specific grade and dimensions shown on the plans and smooth it.
3. Provide drainage to carry water to a sediment trap or other suitable outlet.
4. Use geotextile fabrics because they improve stability of the foundation in locations subject to seepage or high water table.

Maintenance

Maintain the gravel pad in a condition to prevent mud or sediment from leaving the construction site. This may require periodic topdressing with 2-inch stone. After each rainfall, inspect any structure used to trap sediment and clean it out as necessary. Immediately remove all objectionable materials spilled, washed, or tracked onto public roadways.

Temporary Seeding

Specification # 6.10 - Specifications

Complete grading before preparing seedbeds and install all necessary erosion control practices, such as dikes, waterways and basins. Minimize steep slopes because they make seedbed preparation difficult and increase the erosion hazard. If soils become compacted during grading, loosen them to a depth of 6-8 inches using a ripper, harrow, or chisel plow.

Seedbed Preparation

Good seedbed preparation is essential to successful plant establishment. A good seedbed is well-pulverized, loose and uniform. Where hydroseeding methods are used, the surface may be left with a more irregular surface of large clods and stones.
Liming - Apply lime according to soil test recommendations. If the pH (acidity) of the soil is not known, an application of ground agricultural limestone at the rate of 1 to 1 1/2 tons/acre on coarse-textured soils and 2-3 tons/acres on fine-textured soils is usually sufficient. Apply limestone uniformly and incorporate into the top 4-6 inches of soil. Soils with a pH of 6 or higher need not be limed.
Fertilizer- Base application rates on soil tests. When these are not possible, apply a 10-10-10 grade fertilizer at 700-l,000 lb./acre. Both fertilizer and lime should be incorporated into the top 4-6 inches of soil. If a hydraulic seeder is used, do not mix seed and fertilizer more than 30 minutes before application.
Surface roughening- If recent tillage operations have resulted in a loose surface, additional roughening may not be required except to break up large clods. If rainfall causes the surface to become sealed or crusted, loosen it just prior to seeding by disking, raking, harrowing, or other suitable methods. Groove or furrow slopes steeper than 3:1 on the contour before seeding (Practice 6:03, Surface Roughening).

Plant Selection

Select an appropriate species or species mixture from Table 6.10a, for seeding in late winter and early spring, Table 6.10b for summer, and Table 6.10c for fall.

Seeding

Evenly apply seed using a cyclone seeder (broadcast), drill, cultipacker seeder, or hydroseeder. Use seeding rates given in Table 6.10a-6.10c. Broadcast seeding and hyroseeding are appropriate for steep slopes where equipment cannot be driven. Hand broadcasting is not recommended because of the difficulty in achieving a uniform distribution. Small grains should be planted no more than 1 inch deep, and grasses and legumes no more than 1/2 inch. Broadcast seed must be covered by raking or chain dragging, and then lightly firmed with a roller or cultipacker. Hydroseeded mixtures should include a wood fiber (cellulose) mulch.

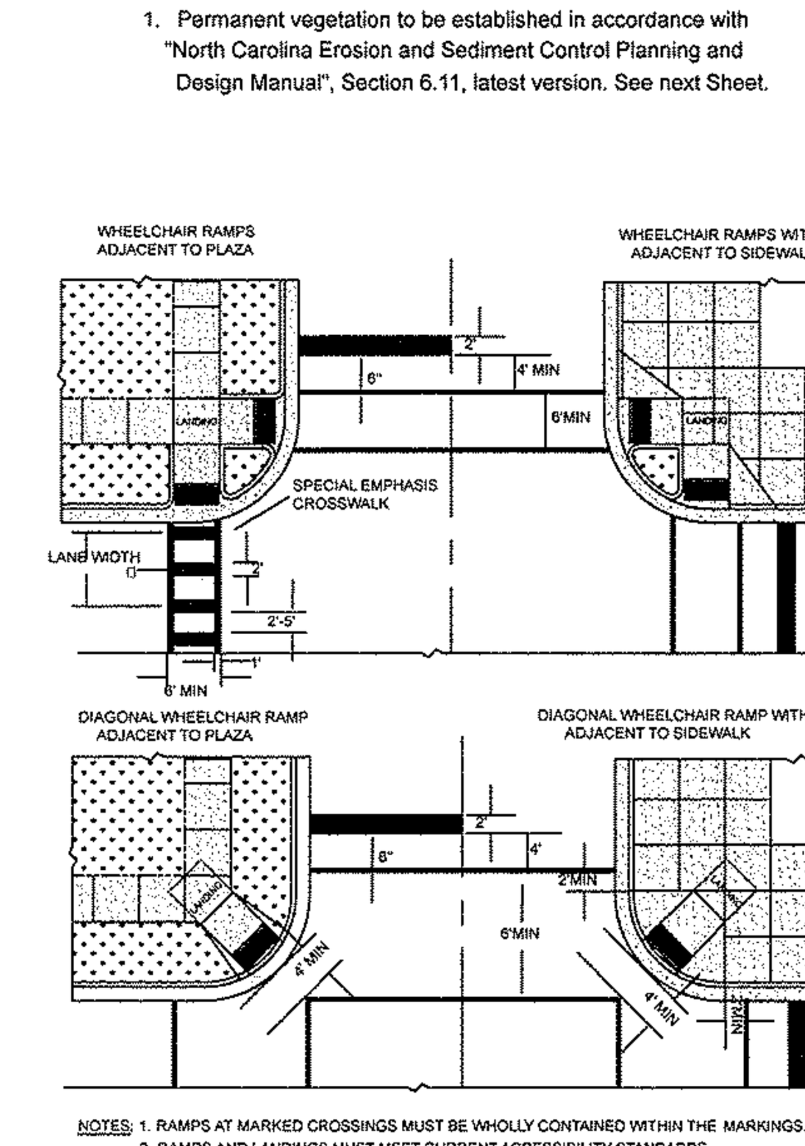
Mulching

The use of appropriate mulch will help ensure establishment under normal conditions and is essential to seeding success under harsh site condition (Practice 6.14, Mulching). Harsh site conditions include:
-seeding in fall for winter cover (wood fiber mulches are not considered adequate for this use),
-slopes steeper than 3:1,
-excessively hot or dry weather,
-adverse soils(shallow, rocky, or high in clay or sand), and
-areas receiving concentrated flow.
If the area to be mulched is subject to concentrated waterflow, as in channels, anchor mulch with netting (Practice 6.14, Mulching).

Table 6.10a - Temporary Seeding Recommendation for Late Winter and Early Spring
Seeding mixture
Species- Rye(grain), Annual lespedeza (Kobe in Piedmont and Coastal Plain
Rate (lb/acre)- 120
Omit annual lespedeza when duration of temporary cover is not to extend beyond June
Seeding dates-Coastal Plain - Dec. 1 - Apr. 15.
Soil amendments- Follow recommendations of soil tests or apply 2,000 lb/acre ground agricultural limestone and 750 lb/acre 10-10-10 fertilizer.
Mulch-Apply 4,000lb/acre straw. Anchor straw by tacking with asphalt, netting or a mulch anchoring tool. A disk with blades set nearly straight can be used as a mulch anchoring tool.
Maintenance - Refertilize if growth is not fully adequate. Reseed, refertilize and mulch immediately following erosion or other damage.

Table 6.10b - Temporary Seeding Recommendations for Summer
Seeding mixture
Species-German millet
Rate(lb/acre)- 40
Seeding dates-Coastal Plain- Apr. 15-Aug. 15
Soil amendments-Follow recommendations of soil tests or apply 2,000 lb/acre ground agricultural limestone and 750 lb/acre 10-10-10 fertilizer.
Mulch -Apply 4,000 lb/acre straw. Anchor straw by tacking with asphalt, netting or a mulch anchoring tool. A disk with blades set nearly straight can be used as a mulch anchoring tool.
Maintenance-Refertilize if growth is not fully adequate. Reseed, refertilize and mulch immediately following erosion or other damage.

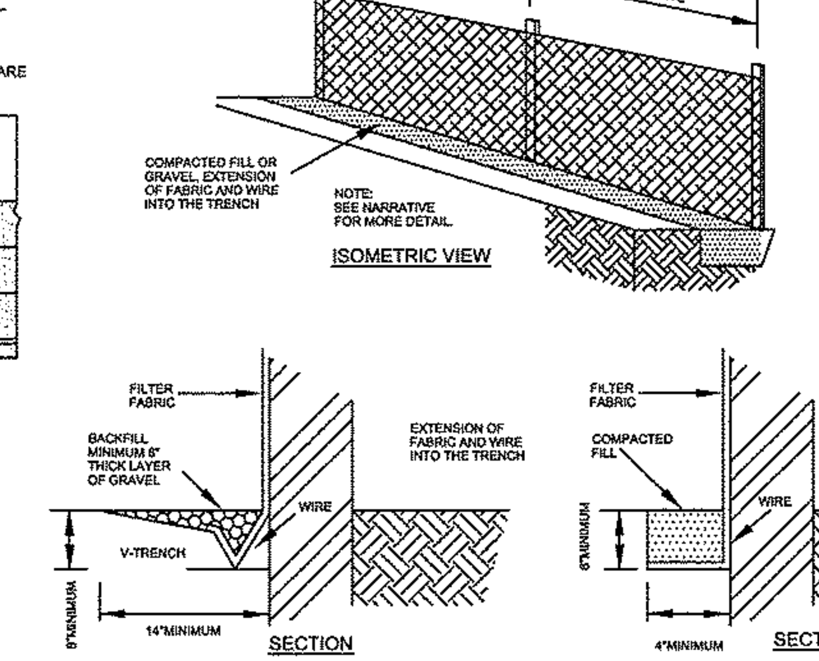
Table 6.10c - Temporary Seeding Recommendation for Fall
Seeding mixture
Species-Rye(grain)
Rate(lb/acre) - 120
Seeding dates - Coastal Plain and Piedmont-Aug 15 - Dec. 30
Soil amendments - Follow soil tests or apply 2,000 lb./acre ground agricultural limestone and l,000 lb/acre 10-10-10 fertilizer.
Mulch- Apply 4,000 lb/acre straw. Anchor straw by tacking with asphalt, netting, or a mulch anchoring tool. A disk with blades set nearly straight can be used as a mulch anchoring tool.
Maintenance- Repair and refertilize damaged areas immediately. Topdress with 50 lb/acre of nitrogen in March, If it is necessary to extend temporary cover beyond June 15, overseed with 50 lb/acre Kobe (Piedmont and Coastal Plain)



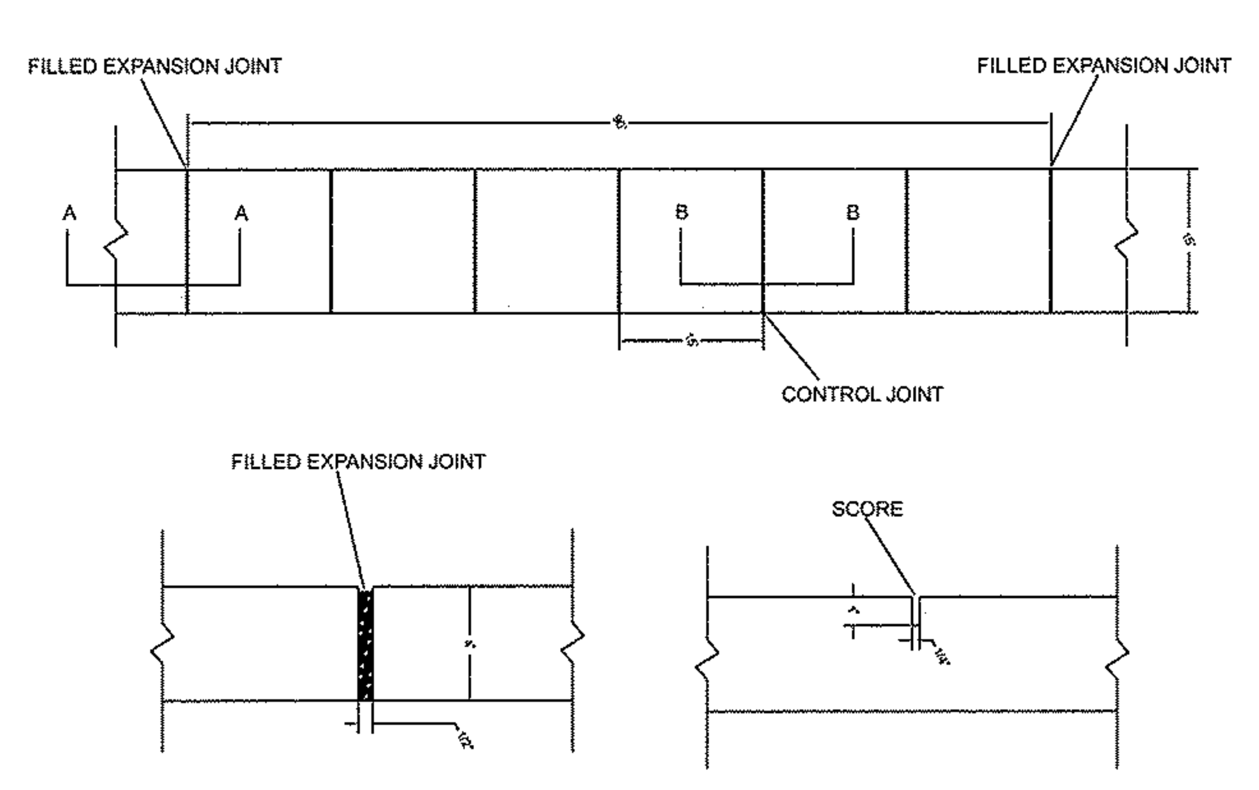
NOTES: 1. RAMPS AT MARKED CROSSINGS MUST BE WHOLLY CONTAINED WITHIN THE MARKINGS.
2. RAMPS AND LANDINGS MUST MEET CURRENT ACCESSIBILITY STANDARDS.

Intersection Layout
SD 8-13

Note: Metal stakes are minimum 4' long, 1.33 lb/LF steel.



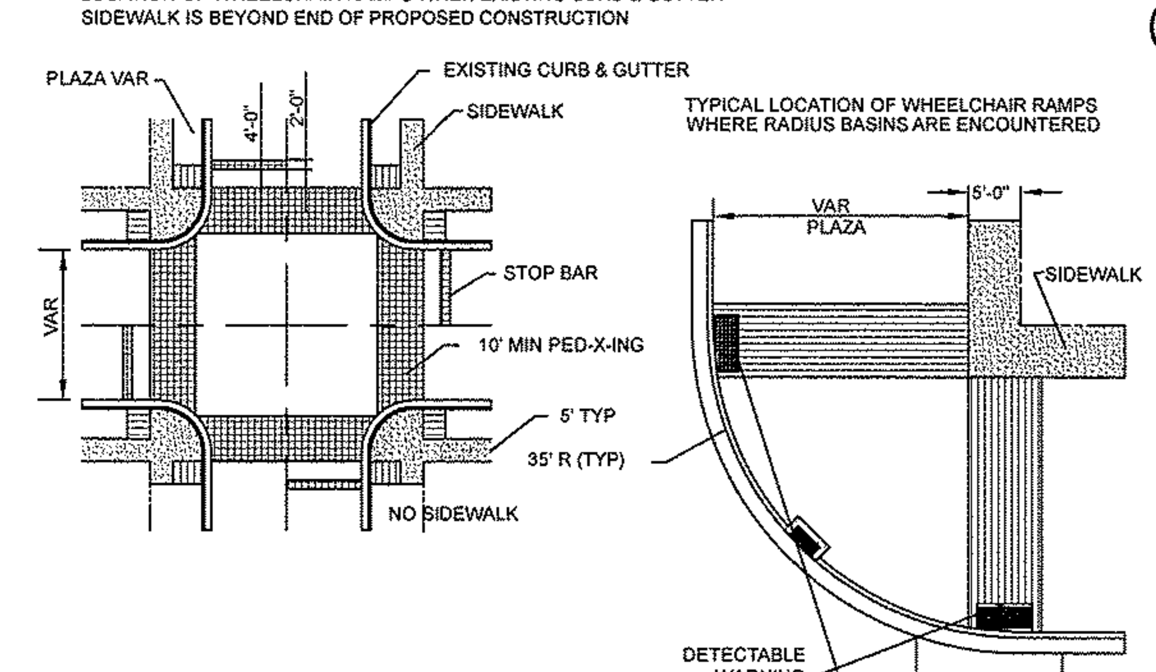
(SF) SEDIMENT FENCE (SILT FENCE)
NTS
PRACTICE 6.62



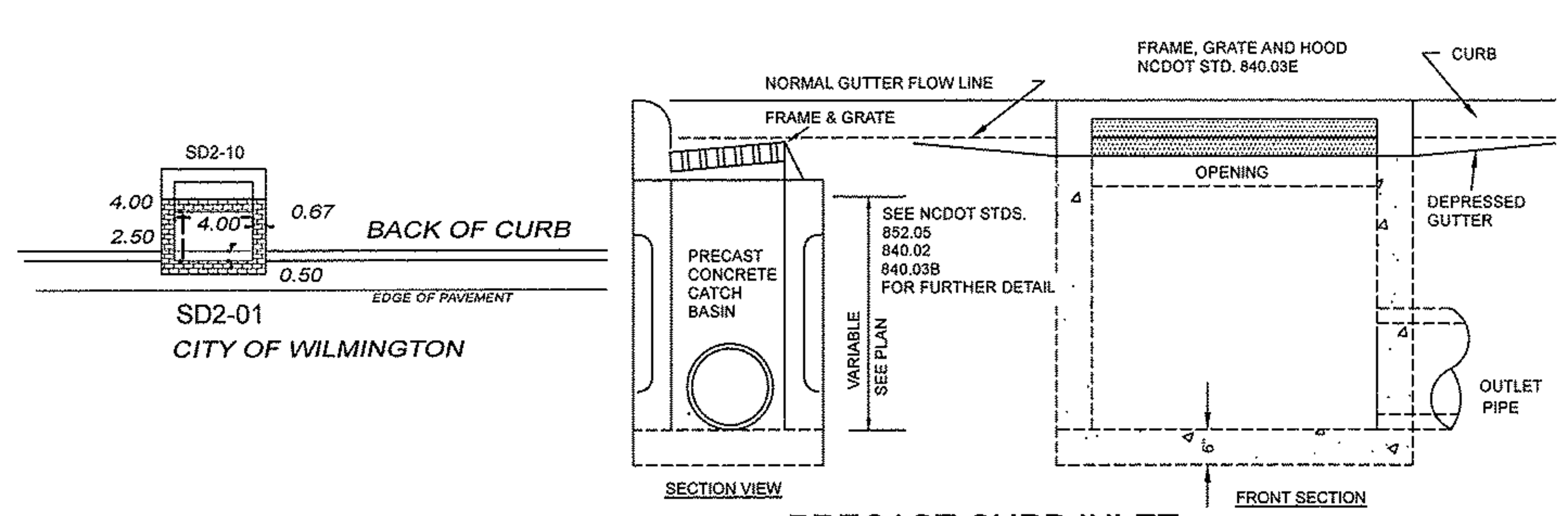
SIDEWALK
SD 5-10

NOTES:
1. JOINT MATERIAL TO COMPLY WITH CURRENT NCDOT STANDARDS.
2. SANITARY SEWER CLEAN-OUTS, WATER METERS, MANHOLES, AND VALVE LIDS TO BE LOCATED OUTSIDE SIDEWALK WHERE FEASIBLE.
3. MINIMUM SIDEWALK WIDTH TO BE 6' MINIMUM IF PLACED AT BACK OF CURB.
4. CONCRETE FOR ALL SIDEWALKS (EXCEPT ANY PORTION CONTAIN WITHIN A DRIVEWAY APRON) SHALL BE CLASS "A" - 3,000 PSI.
5. MINIMUM REPLACEMENT FOR REPAIRS IS A 5' X 5' PANEL
6. 4" STONE BASE MAY BE REQUIRED FOR POOR SOIL CONDITIONS
7. MINIMUM DEPTH FOR TUNNELING BELOW SIDEWALK IS 12"
8. MAX ADJACENT GROUND SLOPE WITHOUT RAILING IS 2:1
9. MIN GRADE FOR PROPER DRAINAGE IS 1% IN AT LEAST 1 DIRECTION. MAX CROSS SLOPE IS 2%. MAX LONGITUDINAL SLOPE IS 8.3%, 10% IF LIMITED BY EXISTING CONDITIONS, OR NO GREATER THAN THE SLOPE OF THE EXISTING ADJACENT ROAD.

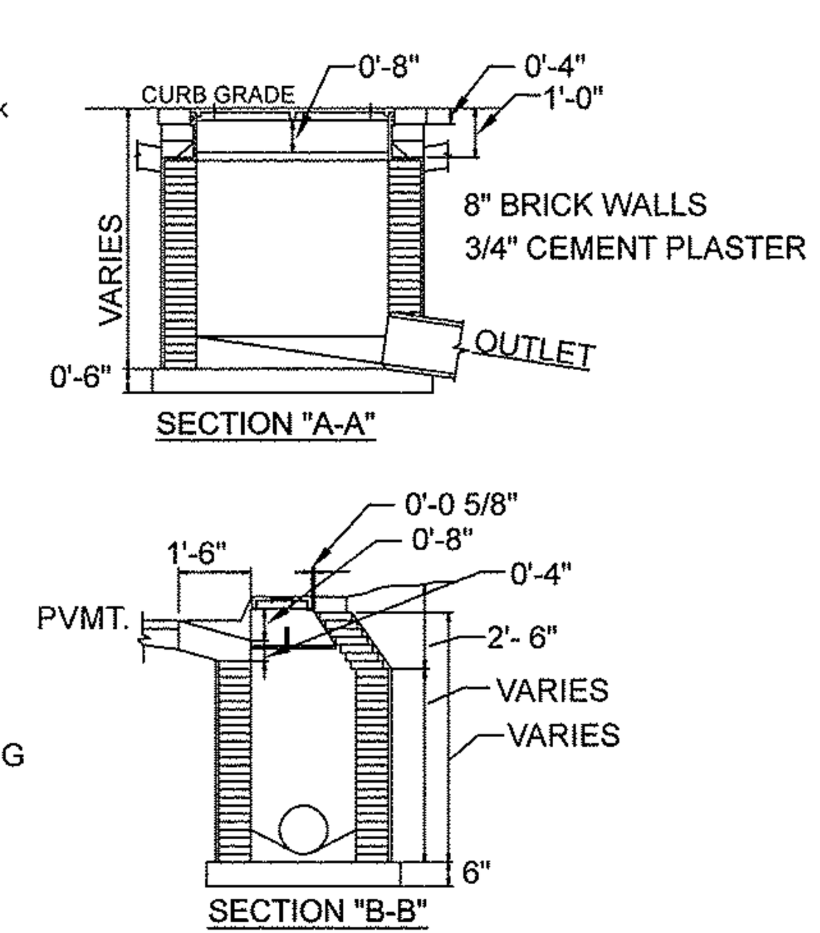
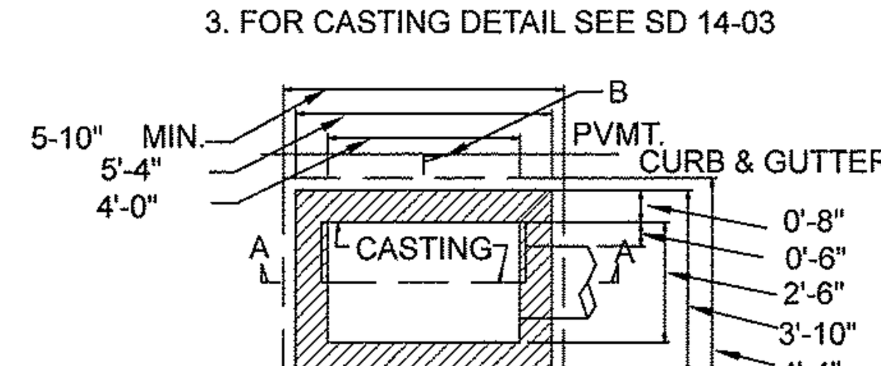
LOCATION OF WHEELCHAIR RAMPS WHEN EXISTING CURB & GUTTER SIDEWALK IS BEYOND END OF PROPOSED CONSTRUCTION



SPECIAL SITUATIONS FOR WHEELCHAIR RAMPS & DEPRESSED CURBS
SD 8-13

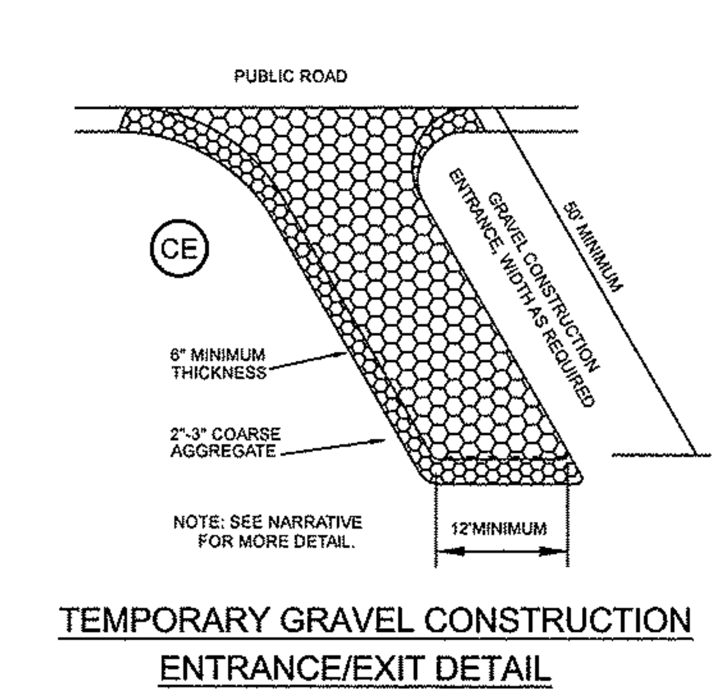


PRECAST CURB INLET
N.T.S.

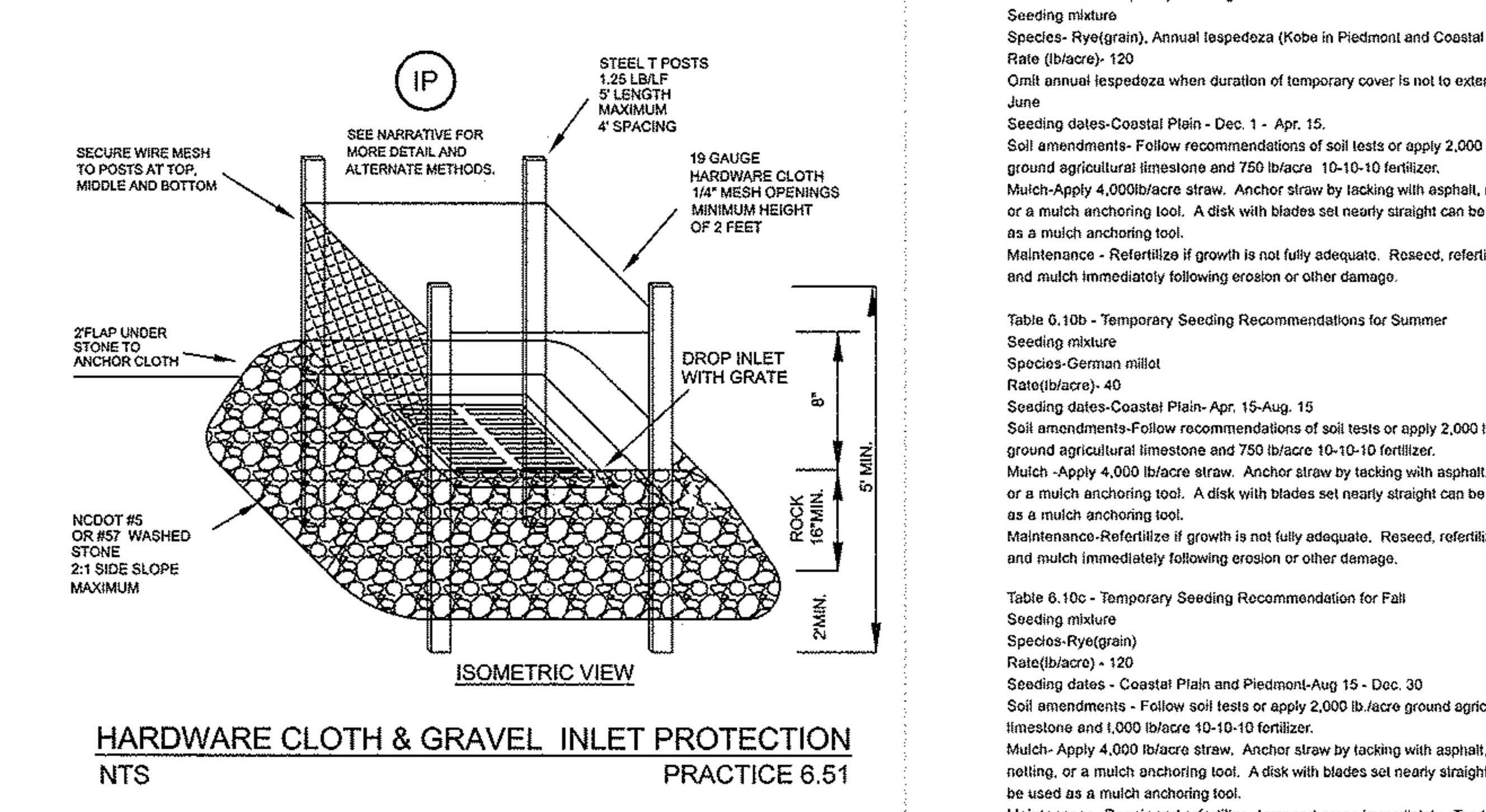



CATCH BASIN
NTS
SD2-01

* IN ALL CITY ROADS AND PRIVATE DRIVEWAYS



TEMPORARY GRAVEL CONSTRUCTION ENTRANCE/EXIT DETAIL
N.T.S.



HARDWARE CLOTH & GRAVEL INLET PROTECTION
NTS PRACTICE 6.51

Approved Construction Plan	Name	Date
Planning		
Traffic		
Fire		

STORMWATER MANAGEMENT PLAN APPROVED
CITY OF WILMINGTON
ENGINEERING DEPARTMENT
DATE ________
PERMIT # ________
SIGNED________

For each open utility cut of City streets, a $325 permit shall be required from the City prior to occupancy and/or project acceptance.

FINAL DESIGN
NOT RELEASED
FOR CONSTRUCTION

DETAILS, SPECIFICATIONS and NOTES
BOJANGLES'
520 South College Rd.
LOCATED IN CITY OF WILMINGTON
HARNETT TOWNSHIP
NEW HANOVER COUNTY, NORTH CAROLINA

REV. NO.	REVISIONS	DATE

NORTH CAROLINA PROFESSIONAL SEAL 20007 ENGINEER DAVID S. HOLLIS
8·10·15
dhollis @ hdsilm.com

DEVELOPER: BOJANGLES' RESTAURANTS INC.
9432 SOUTHERN PINE BLVD.
CHARLOTTE, NC 28273 phone:704-940-8669

HANOVER DESIGN SERVICES, P.A.
LAND SURVEYORS, ENGINEERS & LAND PLANNERS
1123 FLORAL PARKWAY
WILMINGTON, N.C. 28403
PHONE: (910) 343-8002
LICENSE # C-0597

Date: 3-12-15
Scale: 1"= 20'
Drawn: DSH
Checked: DSH
Project No: 12354SHT4

F: ALL\PROJECT FOLDERS\BOJANGLES\LAKESIDE PARK\12503 SHT4.DWG

CONSTRUCTION STAGING & DEMOLITION PLAN & TREE REMOVAL PLAN

520 SOUTH COLLEGE ROAD

CITY OF WILMINGTON
NEW HANOVER COUNTY
NORTH CAROLINA

OWNER: CAJUN PROPERTIES, INC

DATE: MARCH 12, 2015

TREE INVENTORY		
HARDWOODS	–	10
CONIFER	–	21
FLOWERING	–	1
TOTAL	–	32

TREE REMOVALS		
HARDWOODS	–	3
CONIFER	–	10
FLOWERING	–	0
TOTAL	–	13

18"PINE — INDICATES TREE TO BE REMOVED

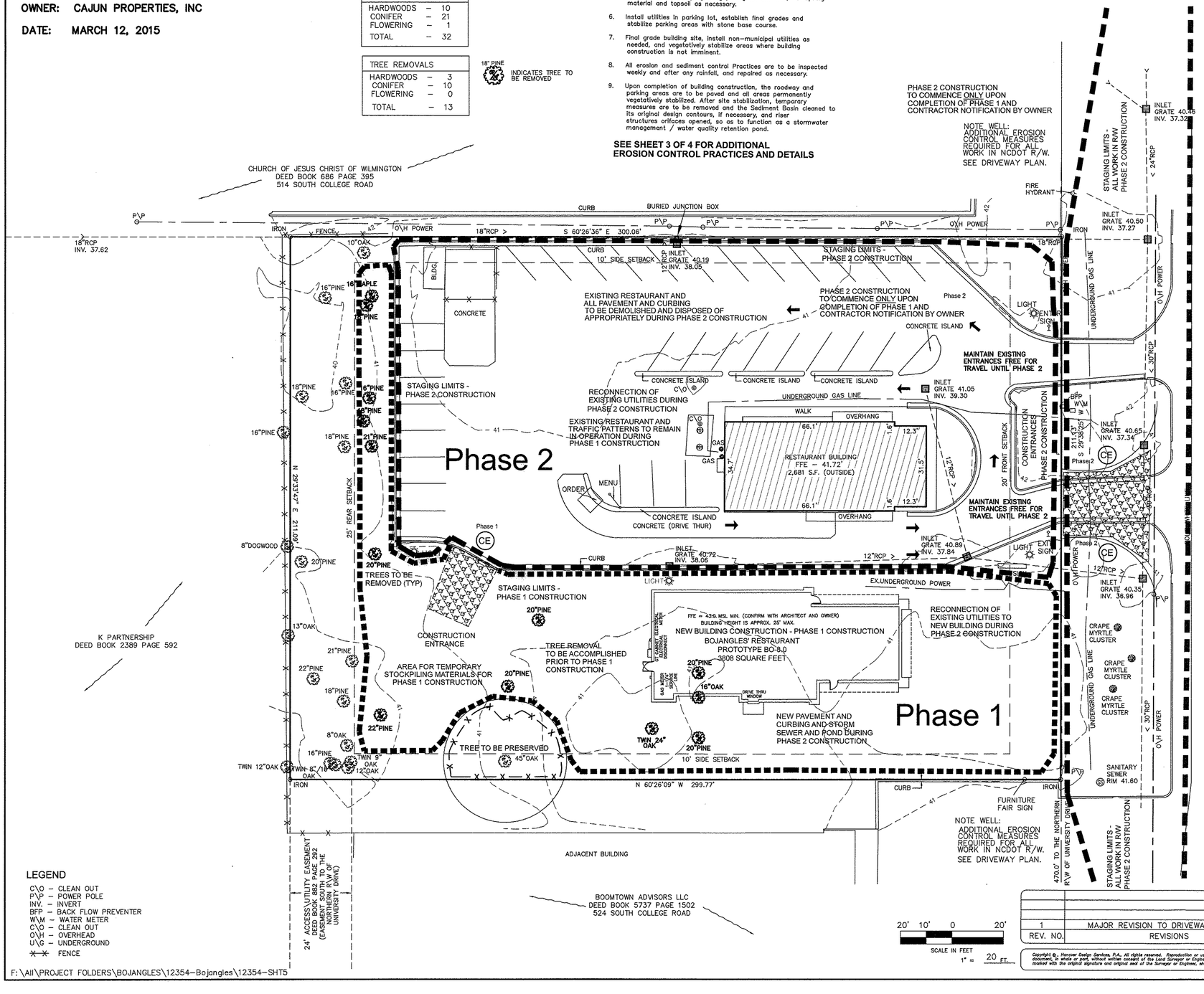
CONSTRUCTION SCHEDULE –

1. Obtain approval of Plan and any necessary permits, and hold a pre-construction conference prior to commencing any work.
2. Flag work limits and stake-out Phase 1 primary measures, and flag trees for removal and protection.
3. Install Gravel Construction Entrance for Phase 1. Sediment Basin to be constructed during transition from Phase 1 to Phase 2 and operational before 10,000 sf of new BUA is placed.
5. Construct any other sediment control Practices for Phase 2 shown, prior to rough grading paking lot and site, stockpiling material and topsoil as necessary.
6. Install utilities in parking lot, establish final grades and stabilize parking areas with stone base course.
7. Final grade building site, install non-municipal utilities as needed, and vegetatively stabilize areas where building construction is not imminent.
8. All erosion and sediment control Practices are to be inspected weekly and after any rainfall, and repaired as necessary.
9. Upon completion of building construction, the roadway and parking areas are to be paved and all areas permanently vegetatively stabilized. After site stabilization, temporary measures are to be removed and the Sediment Basin cleaned to its original design contours, if necessary, and riser structures orifices opened, so as to function as a stormwater management / water quality retention pond.

SEE SHEET 3 OF 4 FOR ADDITIONAL EROSION CONTROL PRACTICES AND DETAILS

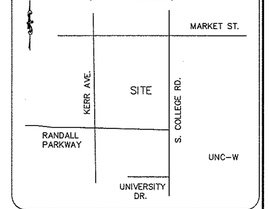
PHASING SCHEDULE –

1. Phase I construction to be completed and new building substantially completed prior to commencing Phase 2.
2. Contractor to coordinate staging of College Road entrances with NCDOT and the City of Wilmington. Terms of the permit, including night construction, to be coordinated with DOT.
3. Contractor responsible for coordinating re-location of any utilities with the appropriate agencies.



LOCATION MAP

(NOT TO SCALE)



STORMWATER MANAGEMENT PLAN APPROVED CITY OF WILMINGTON ENGINEERING DEPARTMENT
DATE _____
PERMIT # _____
SIGNED _____

Approved Construction Plan

	Name	Date
Planning		
Traffic		
Fire		

For each open utility cut of City streets, a $325 permit shall be required from the City prior to occupancy and/or project acceptance.

ADDITIONAL NOTES

THIS PROPERTY IS LOCATED IN FLOOD ZONE X ACCORDING TO FIRM MAP 37203137J, EFFECTIVE DATE APRIL 3, 2006
NO OBSERVED EVIDENCE OF RECENT EARTH MOVING ACTIVITY
NO OBSERVED EVIDENCE OF A SOLID WASTE DUMP BASED ON RECENT SURVEY AND OBSERVED EVIDENCE NO WETLANDS

SITE DATA

TAX PARCEL No. R05507-002-069-000
TRACT AREA – 63,300 S.F. 1.45 ACRES
ZONED – O&I (OFFICE & INSTITUTIONAL)
SETBACKS FRONT – 20'
REAR – 25' (RESIDENTIAL)
SIDE – 10'
LOT COVERAGE 40%
30 PARKING SPACES (EXISTING)

NOTES

1. AREA COMPUTED BY COORDINATE METHOD
2. ALL DISTANCES ARE HORIZONTAL GROUND
3. THIS SURVEY IS NOT FOR RECORDATION, IT DOES NOT MEET ALL REQUIREMENTS OF G.S. 47-30.
4. THE UNDERGROUND UTILITIES SHOWN ON THIS SURVEY ARE LOCATED FROM FIELD SURVEY INFORMATION, AND EXISTING ASBUILT DRAWINGS. THE SURVEYOR MAKES NO GUARANTEE THAT THE UNDERGROUND UTILITIES SHOWN COMPRISE ALL SUCH UTILITIES IN THE AREA. THE SURVEYOR FURTHER DOES NOT WARRANT THAT THE UNDERGROUND UTILITIES SHOWN ARE IN THE EXACT LOCATION INDICATED ALTHOUGH THE SURVEYOR DOES CERTIFY THAT THE UTILITIES ARE LOCATED AS ACCURATELY AS POSSIBLE FORM INFORMATION AVAILABLE. THE SURVEYOR HAS NOT PHYSICALLY LOCATED THE UNDERGROUND UTILITIES.
5. FOR REFERENCE SEE DEED BOOK 1991 PAGE 087
6. THIS TRACT IS NOT LOCATED IN A SPECIAL FLOOD HAZARD AREA
7. VERTICAL DATUM NAVD 88
8. 1.45 ACRES TOTAL AREA

FINAL DESIGN
NOT RELEASED FOR CONSTRUCTION

ZONED: O&I-1
ADDRESS: 520 S College Road
DEVELOPER: Bojangles Restaurants, Inc.
9432 Southern Pines Blvd.
Charlotte, NC 27273
704-940-8669
PARCEL ID: RO5507-002-069-000
OWNER: Cajun Properties Inc.
9432 Southern Pines Blvd.
Charlotte, NC 28273
704-940-8669

NOTE WELL:
THIS STAGING PLAN IS INTENDED AS AN AID FOR THE CONTRACTOR IN COORDINATING ACCESS TO EXISTING FACILITIES. NOTHING IN THIS PLAN IS INTENDED TO RELIEVE THE CONTRACTOR OF HIS RESPONSIBILITIES TO COMPLY WITH FEDERAL, STATE, OR CITY REQUIREMENTS AND STANDARDS.

LEGEND

C\O – CLEAN OUT
P\P – POWER POLE
INV. – INVERT
BFP – BACK FLOW PREVENTER
W\M – WATER METER
C\O – CLEAN OUT
O\H – OVERHEAD
U\G – UNDERGROUND
X–X FENCE

REV. NO.	REVISIONS	DATE
1	MAJOR REVISION TO DRIVEWAY & DOT R/W	8-07-15

Construction Staging and Demolition Plan & Tree Removal Plan
BOJANGLES'
520 South College Road
LOCATED IN CITY OF WILMINGTON — *SMITHVILLE TOWNSHIP, NEW HANOVER COUNTY, NORTH CAROLINA*

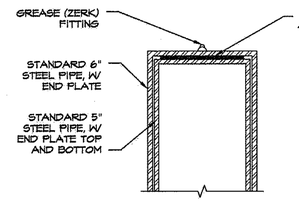
NORTH CAROLINA PROFESSIONAL SEAL 20007 ENGINEER DAVID S. HOLLIS
dhollis @ hdsilm.com

DEVELOPER: BOJANGLES' RESTAURANTS INC.
9432 SOUTHERN PINE BLVD.
CHARLOTTE, NC 28273 phone: 704-940-8669

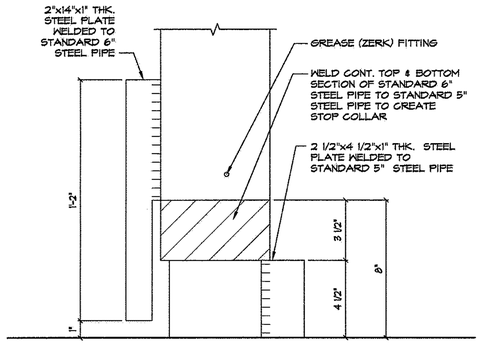
HANOVER DESIGN SERVICES, P.A.
LAND SURVEYORS, ENGINEERS & LAND PLANNERS
1123 FLORAL PARKWAY
WILMINGTON, N.C. 28403
PHONE: (910) 343-8002
LICENSE # C-0597

Date: 3-12-15
Scale: 1" = 30'
Drawn: DSH
Checked: DSH
Project No: 12354
Sheet No: 1 of 1

F:\All\PROJECT FOLDERS\BOJANGLES\12354-Bojangles\12354-SHT5



12 GATE DETAIL
SCALE: 1 1/2"=1'-0"



11 GATE DETAIL
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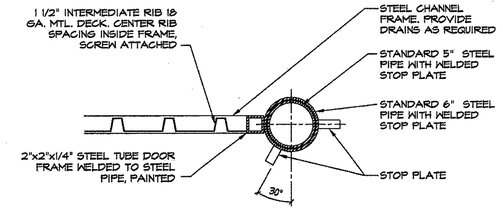

6 GATE DETAIL
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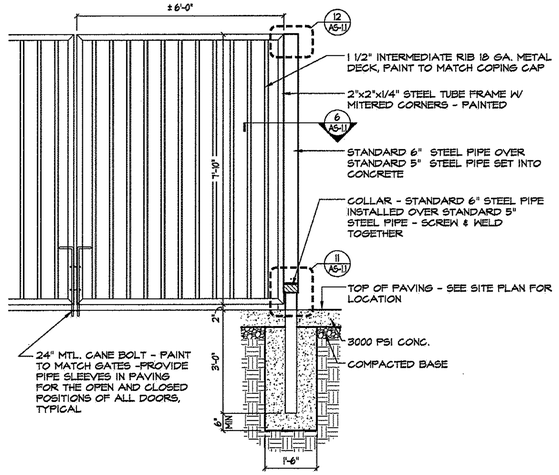
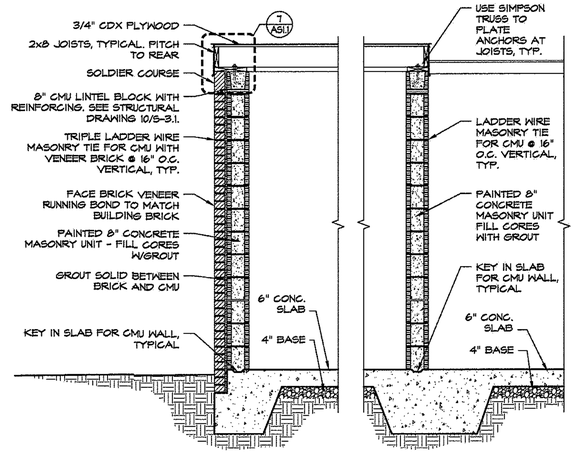
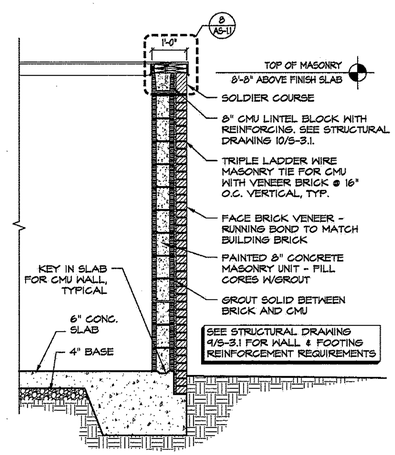


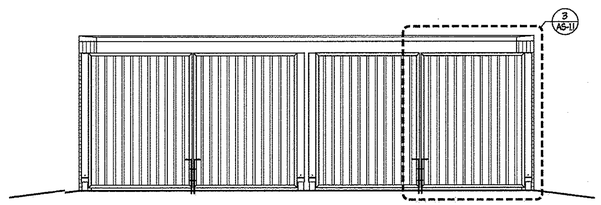
3 GATE ELEVATION DETAIL
SCALE: 1/2"=1'-0"



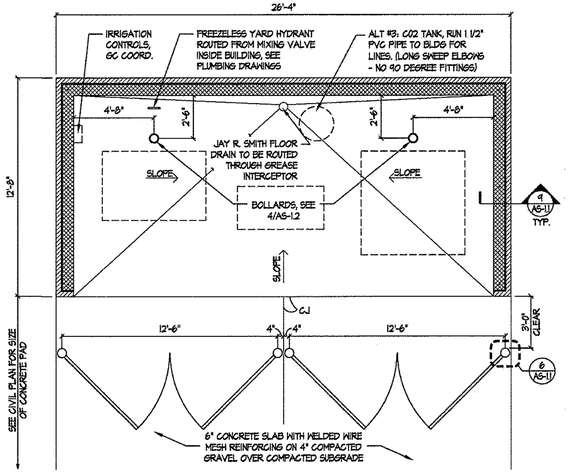
10 WASTE ENCLOSURE SECTION
SCALE: 1/2"=1'-0"



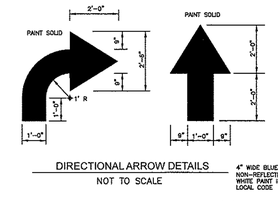
9 WASTE ENCLOSURE WALL SECTION
SCALE: 1/2"=1'-0"



5 ALTERNATE #2 WASTE ENCLOSURE ELEVATION
SCALE: 1/4"=1'-0"

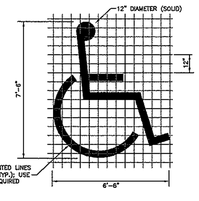


2 ALTERNATE #2 WASTE ENCLOSURE PLAN
SCALE: 1/4"=1'-0"

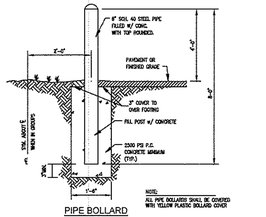


DIRECTIONAL ARROW DETAILS
NOT TO SCALE

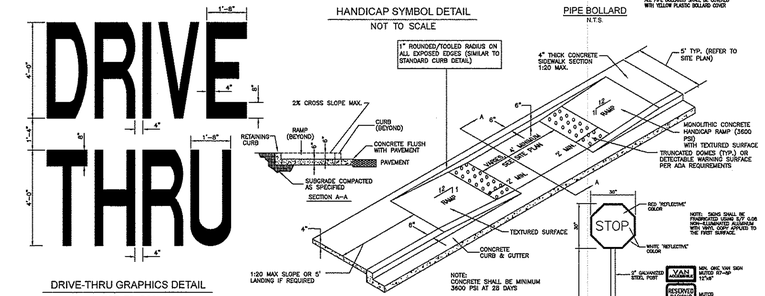
4" WIDE BLUE PAINTED LINES NON-REFLECTIVE (TYP.); USE WHITE PAINT IF REQUIRED LOCAL CODE

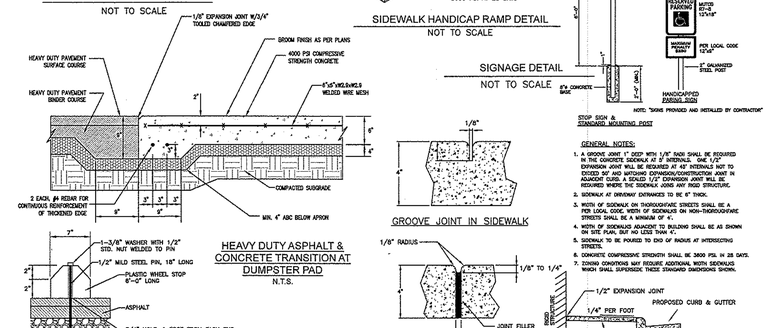


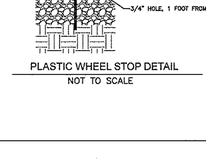
HANDICAP SYMBOL DETAIL
NOT TO SCALE



PIPE BOLLARD
N.T.S.







PLASTIC WHEEL STOP DETAIL
NOT TO SCALE

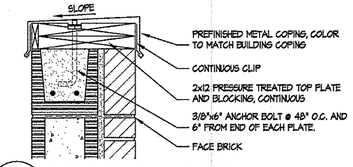
FINAL DESIGN
NOT RELEASED FOR CONSTRUCTION

CONCRETE SIDEWALK (NOT IN RIGHT OF WAY)
NOT TO SCALE

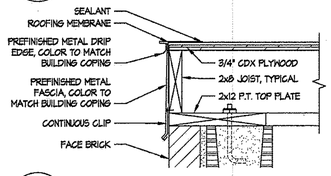
THE ARCHITECT/ENGINEER DOES NOT DEFINE THE SCOPE OF INDIVIDUAL TRADES, SUBCONTRACTORS, MATERIAL SUPPLIERS, OR VENDORS. ANY SHEET NUMBERING SYSTEM USED WHICH IDENTIFIES DISCIPLINES IS SOLELY TO SEPARATE ARCHITECT'S AND ENGINEER'S SCOPE; IT DOES NOT DEFINE A SUBCONTRACTOR'S SCOPE OF WORK. NO CONSIDERATION WILL BE GIVEN TO REQUESTS FOR CHANGE ORDERS FOR FAILURE TO OBTAIN AND REVIEW THE COMPLETE SET OF DRAWINGS AND SPECIFICATIONS.

PLAN NOTES:

1. ALL STEEL TO BE WELDED AND GROUND SMOOTH.
2. GATES AND ALL STEEL COMPONENTS ARE TO BE PRIMED AND PAINTED TO MATCH BRONZE COLORED MASONRY COPING CAP
3. STANDARD SIZE 6" STEEL PIPE IS 6.325" O.D. THICKNESS OF 0.28"
4. STANDARD SIZE 5" STEEL PIPE IS 5.563" O.D. THICKNESS OF 0.258"



8 SECTION DETAIL
SCALE: 1 1/2"=1'-0"



7 SECTION DETAIL
SCALE: 1 1/2"=1'-0"

ESD
architecture • interior design
1300 South Mint Street, Suite 300, Charlotte, NC 28203
Email: esd@esdarch.com • Fax: 704-373-0902 • Phone: 704-373-1900

FAMOUS Bojangles' chicken 'n biscuits

BOJANGLES' RESTAURANTS, INC.
PROTOTYPE PLAN 8

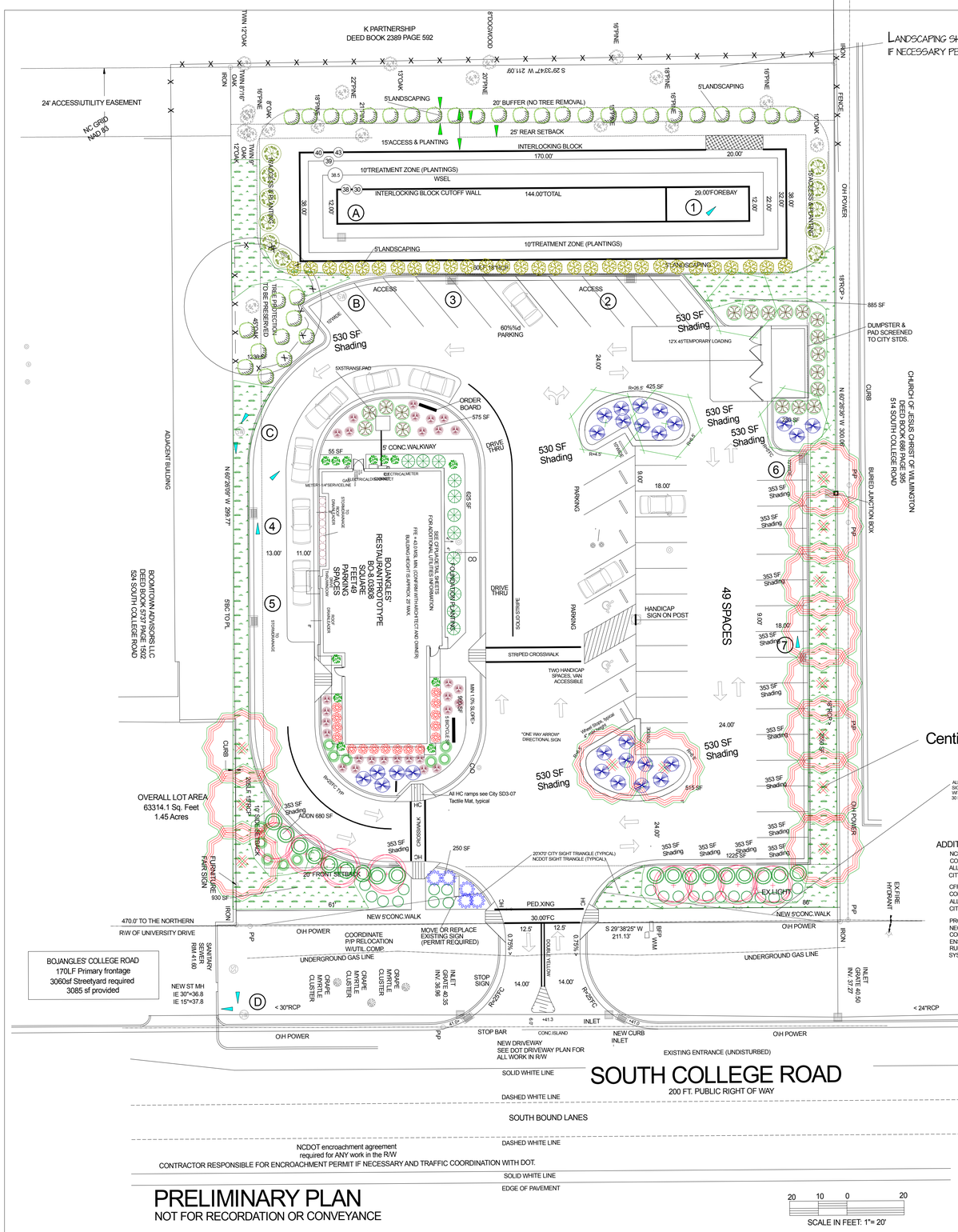
ISSUE DATE: 10-20-10
REVISION 1: -- 5-08-14
REVISION 2: --
REVISION 3: --
REVISION 4: --

PROJECT #: --
CONTENT: SITE DETAILS

PROJECT ARCHITECT: ECE
DRAWN BY: CEG
CADD FILE NAME: P:\10-000\CD\AS01-1 SITE DETAILS

Sheet
AS-1.1

SHEET 1 of 1



LANDSCAPING SHALL BE SUPPLEMENTED IN THE REQUIRED BUFFER AREA IF NECESSARY PER COW STAFF'S DIRECTION PRIOR TO A CO.

Parking: "Restaurant"

3185 sf exclusive of kitchen and restroom
49 spaces maximum @ 1/65sf
40 spaces minimum @ 1/80sf
47 regular spaces provided
2 van accessible HC spaces provided
No loading space required - one provided
5 bicycle spaces required - 5 provided

NOTE: NO WETLANDS ON THIS SITE.
CAMA LAND USE CLASSIFICATION: "URBAN"
SITE NOT IN A SHOD OR COD.
APPROXIMATE TIME TO COMPLETION: UNDER 1 YEAR.

PAVEMENT MARKING ARROWS MUST BE AT LEAST 1/2 SIZE STANDARD ROADWAY ARROWS AS PER CITY TECH.STDS.

TRAFFIC CONTROL SIGNS AND PAVEMENT MARKINGS AS PER CITY and NCDOT STANDARDS.

ONE SIGNIFICANT TREE ON SITE TO BE PRESERVED. REGULATED TREES TO BE REMOVED ARE FOR ESSENTIAL SITE IMPROVEMENTS. NO REGULATED TREES ARE LOCATED IN EXCESS PARKING AREAS.

NOTE: DETAILED LANDSCAPING PLAN TO CITY STANDARDS BY OTHERS.

SITE DATA TABLE:

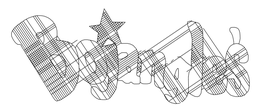
TAX PARCEL IDENTIFICATION NUMBERS:
R05607-002-069-000
DB 1991 PG 087

ZONING: O&I-1

SETBACKS OF BUILDING:
REQUIRED: FRONT - 20' REAR - 25' SIDE - 10'
PROVIDED: FRONT - 59' REAR - 140' SIDE - 21'
ACREAGE = 1.45 ACRES (63,314 sf) x 15 Trees/ Acre = 22 Trees 2" Cal. Req'd.
22 Trees 2" Cal. Ex. and prov'd.

LOT COVERAGE:
BUILDINGS & OVERHANGS ETC - 4,140 SF
PARKING & DRIVES - 30,850 SF
SIDEWALKS ETC - 2,135 SF
"FUTURE" - 860 SF
TOTAL IMPERVIOUS = 37,988 SF = 60% OF 1.45 ACRES
ONE BUILDING PROPOSED FOR BOJANGLES' 520 S. COLLEGE ROAD
ONE STORY - ADDRESS: 520 S. COLLEGE ROAD
BUILDING OUTSIDE SIZE = 4,140 SF ; BUILDING LOT COVERAGE = 7%

PARKING & DRIVES - 30,850 SF x 20% = 6,170sf Req'd. Canopy Coverage, 8,652sf Prov'd.
14 x 353sf = 4942sf + 7 x 530= 3710sf



LANDSCAPING SHALL BE COMPLETE BEFORE ISSUANCE OF A C.O.

A rain/freeze sensor shall be used if there is an irrigation system.

USING THE CREATIVE STANDARD OF THE CODE 50% OF THE STREETYARDS SHALL BE PLANTED AS CALLED OUT.

Legend

Common Name	Size	Qty	
Allee Elm	2.5"Cal.,10'ht.	4	
Boxwood Hedge, Wintergreen	3 Gal.	16	12"Ht.
Pittosporum Compacta	3 Gal.	12	12"Ht.
Camellia Sasanqua Yuletide	3 Gal.	11	12"Ht.
Crape Myrtle Tuscarora	2.5"Cal.,8'Ht.	8	
Azalea Formosa	3 Gal.	34	18"Ht.
Japanese Yew	7 Gal.	29	36"Ht.
Juniper Parsoni	3 Gal.	34	12"Ht.
Ligustrum, Variegated	7 Gal.	13	33"Ht.
Nandina Gulfstream	3 Gal.	9	18"Ht.
European Hornbeam	3"Cal.,10'ht.	13	
Drift Rose	3 Gal.	5	Groundcover
Breeze Grass	3 Gal.	29	12"Ht.
Knockout Rose, Dbl. Red	3 Gal.	11	18"Ht.
Dwarf Yaupon Holly	3 Gal.	21	12"Ht.
Wax Myrtle	3 Gal.	11	30"Ht.
Needlepoint Holly	7 Gal.	18	36"Ht.

S. College Rd. Primary Streetyard:

			per Creative Code:	Provided:
211lf - 25lf Drwy. = 186 x 18'w =	3348sf Req'd. landscape		1674sf	
3 understory trees per 600sf	=	17 trees	9	9
6 shrubs per 600sf	=	33 shrubs	17	43

Centipede Sod	SY	585	
Brown-Dyed Mulch	CY	70	
Wetlands Plants, 6 rows, 2'oc, 3 varieties	4" pot	1089	

Quantities listed are for convenience only. Landscape Contractor responsible for actual quantities.

The areas within the triangular sight distance shall be maintained free of all obstructions between 30" and 10'.

PRIOR TO ANY CLEARING, GRADING OR CONSTRUCTION ACTIVITY, TREE PROTECTION FENCING WILL BE INSTALLED AROUND PROTECTED TREES OR GROVES OF TREES. NO CONSTRUCTION WORKERS, TOOLS, MATERIALS OR VEHICLES ARE PERMITTED WITHIN THE TREE PROTECTION FENCING.

All planted and retained living material required to meet the provisions of the City of Wilmington Land Development Code, shall be perpetually protected and maintained to professionally accepted standards by joint and several responsibility of the owner, tenant and respective agents of the property on which the material is located.

Date Drawn: 3-30-15
Revision #1 8-12-15
Revision# 2
Revision#3

Centipede Sod

Revision #: 1

Date: 8/12/2015

Scale:

1" = 20'

0 20 40

Landscape Plan:

Bojangles

Landscape Design by: James Freeman - NCLC# 71

Freeman Landscape, Inc.